



**CONWAY**  
HISTORIC DISTRICT COMMISSION  
STAFF REPORT

**5:30pm • March 26, 2018 • City Hall**



March 26, 2018 • 5:30 pm • 1201 Oak Street

# AGENDA

## HISTORIC DISTRICT COMMISSION MEMBERS

Steve Hurd, Chairman  
Marianne Black, Vice-Chairwoman  
David Carolina  
George Covington, Sr.  
Shelby Fiegel  
Taylor Martin  
Gerald Tosh

### A. Call to Order

### B. Approval of Minutes

1. February 26, 2018

#### Old Business: Public Hearings - Old Conway Design Overlay District

1. 1215 N Ash Street - New Outbuilding\*

### C. Public Hearings - Asa P. Robinson Historic District

1. 825/827 Faulkner Street - Duplex Remodel

### D. Public Hearings - Old Conway Design Overlay District

1. 537/539 Oliver Street - New Carport & Back Porch
2. 841 Donaghey Avenue - New Lenderman Dental Clinic Building
3. 1272 Sutton Street - New Zion Temple Church of God in Christ

#### Discussion

1. Vinyl Siding
2. Term Limitations
3. Other items as decided by the Commission

### F. Adjourn

*\*Item held in committee at the February 26, 2018 meeting. Added to the March Staff report after publication.*

Conway Historic District  
Commission February 26, 2018  
Meeting Minutes

City Hall - Downstairs Conference Room, 5:30 p.m.

**Roll Call**  
Steve Hurd, Chairman - present  
Marianne Black, Vice Chairperson - present  
Taylor Martin - present  
George Covington, Sr. - present  
Gerald Tosh - present  
David Carolina - present  
Shelby Fiegel - present  
HDC City Staff - Bryan Patrick - present

**Finding of a Quorum.**  
7 Commission members - Quorum present.

**Also in attendance:**  
Lindsay and Joshua Davis - 1828 Lee Ave  
Eric and Sarah Bryan - 1704 Mill St  
Jacob Walker - 1700 Mill St  
Dawn Mathis - 1620 Mill St  
Gary Stanton - Stanton Appraisals  
Carole Jackson - Owner 1220 N Ash St  
Margaret West - 920 Center St

**Meeting Minutes**  
January 22, 2018 minutes. George Covington motioned for approval, seconded by Marianne Black. Minutes approved unanimously.

Old Conway Design Overlay District  
Certificate of Appropriateness Review

Davis Garage Extension – 1828 Lee Avenue

**Presentation:**  
Ms. Lindsay Davis explained that they wanted to expand the rear of the existing garage so that her husband could have an office. The roof, siding, and exterior of the garage would have a continuous look. The new portion would blend into the old.

**Neighborhood Discussion:**  
None

**Commission Discussion:**  
General discussion among the commission saw no problems with allowing the proposed extension.

Motion made by George Covington to approve the project with staff recommended conditions.

1. The garage extension shall be constructed as shown in submitted plans.
2. The existing garage and extension is allowed to have a 0 foot side setback (west side against unbuilt alley right of way).
3. Vinyl siding material shall be allowed to match existing garage and residence.
4. HVAC and utility equipment shall be appropriately located at the rear of the garage extension.

Motion seconded by Taylor Martin. Motion approved unanimously.

Bryan Outbuilding/Residence – 1810 Mill Street

**Presentation:**  
Mr. Eric Bryan presented the drawings and discussed the proposed new outbuilding/residence. The property was bought prior to the OCDOD was established with the intent of constructing a workshop. The outbuilding is planned to be remodeled into a residence at some point in the future. Conway Corporation estimates to extend water and sewer mains to the property were \$50,000 and \$37,000 respectively. The intent will be to cap off water and sewer lines to be connected in the future. A tall carport is on the south side to allow an RV to pass through. The center section is the main shop and the north end could become a 2 story structure in the future. The structure is designed with universal access in mind. They could possibly “downsize” and use the structure as a residence in the future. They would like to be able to “age in place”. New drawings were presented that show brick column bases, brick building ends, and rectangular windows. Garage doors will be double sliding doors. There are 2 driveways and they plan to preserve the existing persimmon tree. Siding could be a smooth vinyl like 1626 Mill or a type that matches other historic houses in the neighborhood.

**Neighborhood Discussion:**  
Jacob Walker who lives immediately south of the property stated that he preferred the smooth vinyl and was ok with the project.

Opposition. Carole Jackson owner of property to the north, asked about the number of driveways. Mr. Bryan stated that there are 2; one on the south would be permanent and the one on the north would be removed if converted to a residence. Ms. Jackson also inquired about driveway separation distances, lot width, and whether Mr. Bryan plans to park cars on the street? The response was no cars will be on the street. Mr. Covington asked if Mr. Bryan plans to operate a business? Mr. Bryan responded no. Just a home machine workshop. Margaret West stated that the proposed structure doesn’t blend with the neighborhood.

**Commission Discussion:**  
Gerald Tosh asked Mr. Bryan if he had considered anything other than vinyl siding? Mr. Bryan responded that he would

prefer vinyl as it requires no painting, is easy to repair, and lower cost. He estimates that Hardiboard would cost an additional \$10,000 and require painting every 15 years. Chairman Hurd stated that beyond materials, the basic structure was out of context in scale and massing in relation to other historic structures. The height, roof pitch, column sizes, etc were not in scale. Marianne Black Asked if the RV carport could be relocated to the rear of the structure? Mr. Bryan stated that it would not fit in back and that location did not work well with the intended porches. Mr. Hurd proposed that a sub-committee form and take a look at the structure and possibly create something more in compliance with the Old Conway standards. Mr. Walker from the audience, stated that he would rather see the structure taller as opposed to being squatty. Mr. Hurd stated that the first thing to solve was the scale and massing and then look in depth at the proposed materials.

Motion made by Shelby Fiegel to table the request until the March meeting and to hold a sub-committee design review meeting prior to the March meeting. Motion seconded by Marianne Black. Motion approved unanimously.

Discussion

Vinyl Siding Regulations. The HDC discussed the existing regulations concerning vinyl siding in both the Old Conway Design Overlay District and the Robinson District. The consensus was vinyl should not be banned but considered on a case by case basis. However, the language of the regulations should be revised to very strongly discourage the use of vinyl and only allow under exceptional circumstances. Robinson District language language could possibly be used in the Old Conway Overlay regulations. Mr. Patrick, HDC Staff, stated that he would prepare revisions to the regulations for review at the March HDC meeting.

HDC Terms Revisions. Mr. Patrick stated that he would have details and direction for discussion at the March meeting.

Adjourn

Motion made to adjourn by George Covington. Marianne seconded the motion. The meeting was adjourned.

**C1 DUPLEX REMODEL - 825/827 FAULKNER STREET**

**ASA P. ROBINSON HISTORIC DISTRICT  
CERTIFICATE OF APPROPRIATENESS REVIEW  
DUPLEX REMODEL  
825/827 FAULKNER STREET**

**APPLICANT/OWNER**

Riley Swindle  
125 Las Colinas  
Conway AR 72034

**SITE**

Address. 825/827 Faulkner Street

Lot Area. ± 0.17 acres.

**Present Zoning.** R-2A (Large Lot Duplex). The property is within the Robinson Historic District.

**Abutting Zoning.** R-2A (Large Lot Duplex), in the Robinson Historic District.

**Surrounding Area Structures.** The property is located in the Robinson Historic District on the west side of Faulkner Street across from the County Courthouse campus and the Faulkner County Historic Museum. Area structures consist of various residential structures converted to office uses.

**General Description of Property and Proposed Development.** The property is a vacant duplex that was rezoned to office at the 2-27-2018 Council meeting. The owner would like to renovate the duplex into an office. Part of this renovation is replacing the windows and doors. There could be additional exterior renovations. The applicant can provide additional information at the meeting.

**Setbacks.** Proposed setbacks should respect the predominant setbacks of area structures, especially the front setback. Front setbacks are allowed within a range of 80% to 110% of the average area front setback. The setbacks will remain unchanged.

**Spacing.** Established spacing distance pattern between area structures. Spacing will remain unchanged.

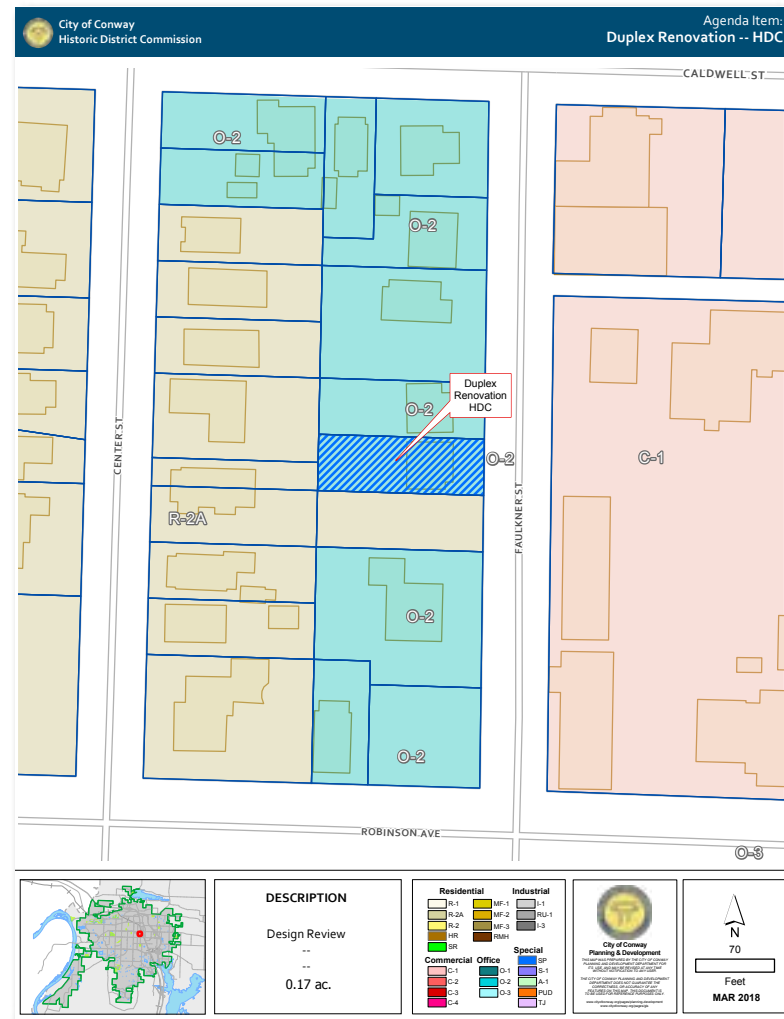
**Lot Coverage.** Lot coverage will not change.

**Orientation.** The direction in which the front of a building faces. The orientation will remain unchanged.

**Alley.** There are no alleys in the property's block.

**Driveway/Parking/Carport.** No plans have been submitted for additional drives or parking. The applicant can provide additional information at the meeting.

**Sidewalks.** There is no sidewalk along the property's street frontage. No sidewalk construction is required as there is no addition to the structure.



Aerial View of 825/827 Faulkner Street

**Fences.** No fencing is proposed.

**Tree preservation.** No trees will be affected by the requested improvements.

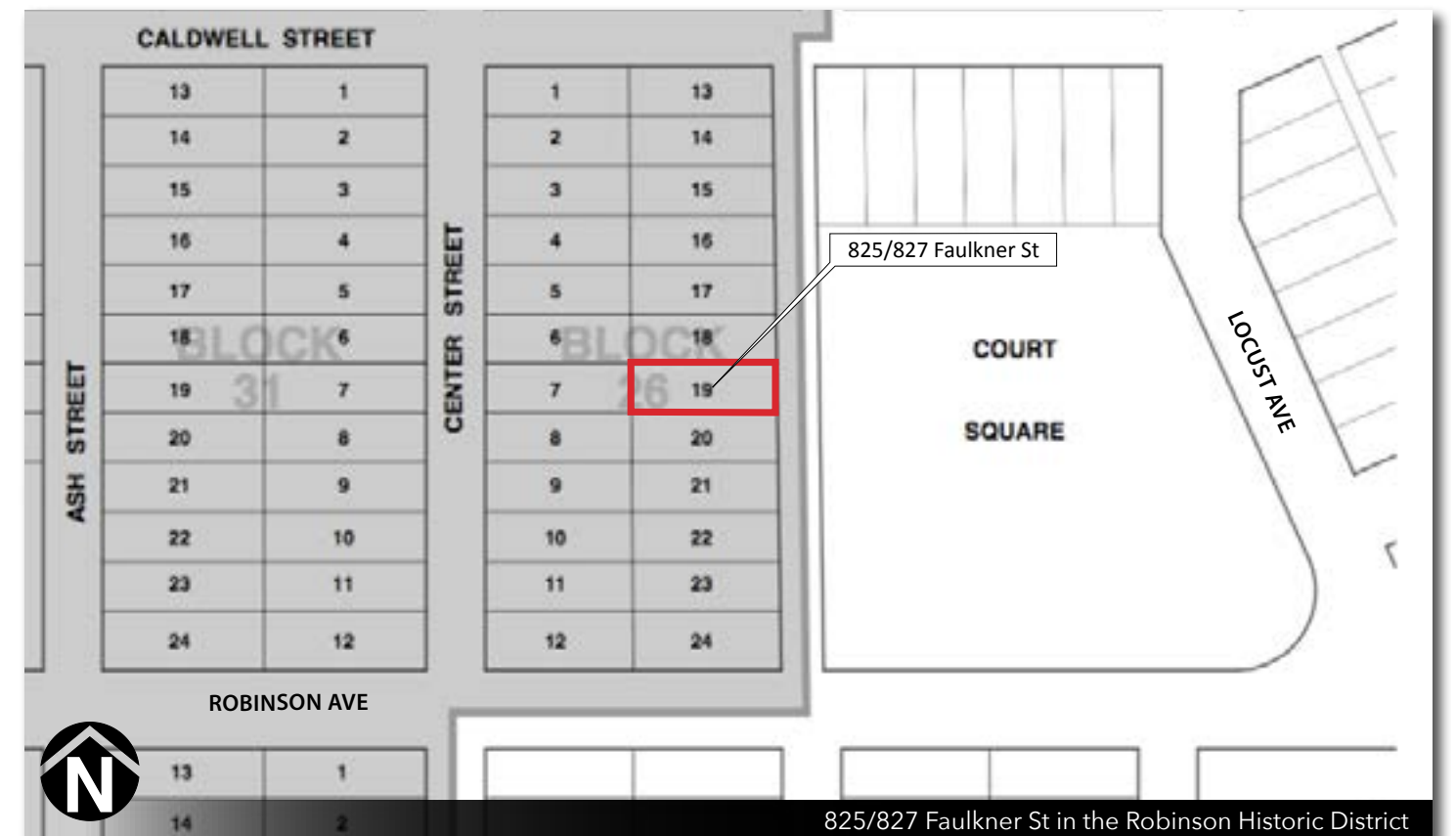
**MASSING**

**Scale.** The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. Not applicable.

**Height.** The average height of area structure's eaves and cornices. Also, the first floor elevation / height relationship. Not applicable.

**Width.** New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. Not applicable.

**Directional expression.** Measurement of the height to width ratio of a structure's elevation. The height/vertical expression of the residence remains unchanged.



825/827 Faulkner St in the Robinson Historic District

**C1 DUPLEX REMODEL 825/827 FAULKNER STREET**

**Footprint.** The area of land covered by a structure should be in relation to the majority of neighboring structures. The residence’s footprint will not change.

**Complexity of form.** The level of detailing and breaks in wall planes of a structure. The residence’s overall form remains unchanged.

**Facade, wall area, rhythm.** Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. Not applicable.

**DESIGN ELEMENTS**

**Style.** The style should compliment the existing and area structures. The structure is listed as a “minimal traditional” in the 1998 Robinson District survey.

**Entries, Porches, and Porticos.** No plans have been submitted for porch remodeling. The front deck entry is proposed to be remodeled similar to the “twin” structure next door. The applicant can provide additional information at the meeting.

**Doors and windows.** New doors and windows similar to the “twin” office structure next door are proposed.

**Awnings.** When new construction uses awnings, traditional awning designs, materials, and placement should be used. The structure has 2 existing awnings. The awnings are proposed to be remodeled similar to the “twin” structure next door. The applicant can provide additional information at the meeting.

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No new lighting is proposed.

**MATERIALS & DETAILING**

**Architectural Details, Siding, and Bricks.** Eaves, brackets, dentils, cornices, moulding, columns, trim, etc. There will be no overall changes to the architectural details.

**Shutters.** If used, shutters should be in proportion to their window opening. If they were closed, they should cover the window opening. The existing structure does not have shutters and none are proposed.

**Roof.** There is an exiting asphalt roof on the residence. No changes are proposed.

**Decks/Plaza Space.** See Entries, Porches, and Porticos.

**Skylights.** Not applicable.

**Mechanical Screening.** HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street. Not applicable.

**RECOMMENDATIONS**

**General comments.** The structure is a non-contributing structure. It appears that the front facade windows are non-original. The structure is sided with asbestos siding. Due to the non-contributing status of the structure, Staff recommends approval of the exterior renovations and window/door replacement with the following conditions:

1. Windows and doors may be replaced.
2. Exterior front facade renovations similar to 829-831 Faulkner Street are approved.



View of property from Faulkner Street looking W

# D1 NEW CARPORT & BACK PORCH - 537/539 OLIVER STREET

## OLD CONWAY DESIGN OVERLAY DISTRICT CERTIFICATE OF APPROPRIATENESS REVIEW NEW CARPORT & BACK PORCH 537/539 OLIVER STREET

### APPLICANT/OWNER

Niki Thompson  
1540 Haley Lane  
Conway, AR 72034

### SITE

Address: 537/539 Oliver Street

Lot Area: ± 0.22 acres.

**Present Zoning.** R-2A (Large Lot Duplex). The property is within the Old Conway Design Overlay Suburban District.

**Abutting Zoning.** R-2A (Large Lot Duplex) in the Old Conway Design Overlay Suburban District.

**Surrounding Area Structures.** The property is located in the Old Conway Design Overlay Suburban District on the west side of Oliver Street two lots south of Scott and Oliver. Area structures consist of Queen Anne, craftsman bungalow, colonial revival, minimal traditional, and ranch single family and duplex residences.

### General Description of Property and Proposed Development.

The applicant is proposing to return the structure to a single family use and construct a double carport and rear porch. The carport is shown as 24 feet deep and 25 feet wide. The rear porch is proposed to be 28 feet wide and 6 feet deep.

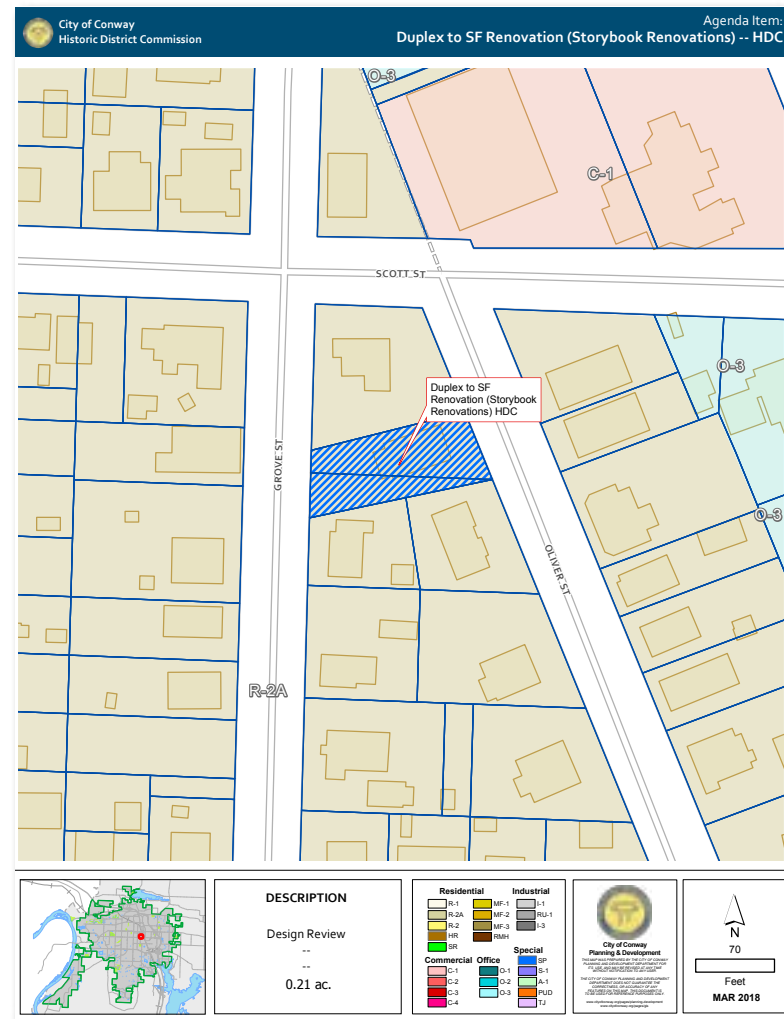
**Setbacks.** Proposed setbacks should respect the predominant setbacks of area structures, especially the front setback. Front setbacks are allowed within a range of 80% to 110% of the average area front setback. The front setback remains unchanged. The north side of the residence has essentially a 0 foot side setback. This north side setback will remain unchanged. The south side setback will be 7 feet from the new eave. The rear setback with porch extension, will be approximately 27 feet. Setbacks are appropriate for the lot and area.

**Spacing.** Established spacing distance pattern between area structures. Spacing is similar to other residences and fits within the neighborhood spacing pattern.

**Lot Coverage.** The Old Conway District allows up to 60% impervious lot coverage. The pervious area will be well over the required 40% pervious.

**Orientation.** The direction in which the front of a building faces. The residence's orientation is not affected.

**Alley.** There are no alleys in the block of proposed construction.



**Driveway/Parking/Carport.** There is an existing gravel parking area in front of the residence. Plans do not show a driveway. It is assumed that a new driveway and parking area will be constructed as part of the new carport area. The applicant can provide additional details at the meeting.

**Sidewalks.** There is a sidewalk along Oliver in front on the residence. It is partially destroyed. The broken area will need to be repaired.

**Fences.** No fencing is proposed.

**Tree preservation.** It appears that no significant trees will be affected by the carport or porch extension.

### MASSING

**Scale.** The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The 2 car carport larger than the majority of single car carports typically seen in the Old Conway area. However, there are several 2 car carports within the immediate area. The size and height of the primary residence can fit with the proposed 2 car carport. The carport is also recessed around 1/2 the depth of the residence.

**Height.** The average height of area structure's eaves and cornices. Also, the first floor elevation / height relationship. structures. The height of the residence will not change. The carport will continue the residence's eave height.

**Width.** New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The carport will cause the width of the residence to increase. However, the width will fit within allowed setbacks and seems to blend with the existing residence.

**Directional expression.** Measurement of the height to width ratio of a structure's elevation. The height/vertical expression of the residence becomes more horizontal. However, the carport is deeply recessed from the front of the street lessening the horizontal appearance.

**Footprint.** The area of land covered by a structure should be in relation to the majority of neighboring structures. The residence's footprint will increase but there is ample side and rear yard remaining.

**Complexity of form.** The level of detailing and breaks in wall planes of a structure. The proposed carport has a level of detailing matching the residence. The carport will match the current level of detailing.

**Facade, wall area, rhythm.** Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. The carport is an open structure and doesn't affect this ratio.

### DESIGN ELEMENTS

**Style.** The style should compliment the primary structure and area structures. The carport's style closely resembles the residence's facade. The overall style will remain unchanged.

**Entries, Porches, and Porticos.** Appropriate entry points should be provided. Porches should be a minimum of 6 feet in depth. A 28 foot wide by 6 foot deep rear porch is proposed. This porch is unseen from the public view. A cedar timber frame style porch is proposed.

**Doors and windows.** The size and proportion, or the ratio of width to height of window and door openings of new buildings' primary facades should be similar and compatible with those on facades of surrounding historic homes. The residence's front facade doors and windows will be relocated - possibly replaced? It is assumed that a side door will be added to access the carport. It is unclear if existing doors and windows will be reused. Existing windows and doors have traditional wide moulding.

**Awnings.** When new construction uses awnings, traditional awning designs, materials, and placement should be used. No awnings are proposed.

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No lighting is shown on the plans.

### MATERIALS & DETAILING

**Architectural Details, Siding, and Bricks.** Eaves, brackets, dentils, cornices, molding, columns, trim, etc. Architectural detail proposed on a new residential structures should be compatible with existing elements, in style, material, size, and shape. The carport will match the same level of detailing. Carport columns matching the existing residence are proposed.

**Shutters.** If used, shutters should be in proportion to their window opening. No shutters are proposed.

**Roof.** An asphalt roof is shown.

**Decks/Plaza Space.** None proposed.

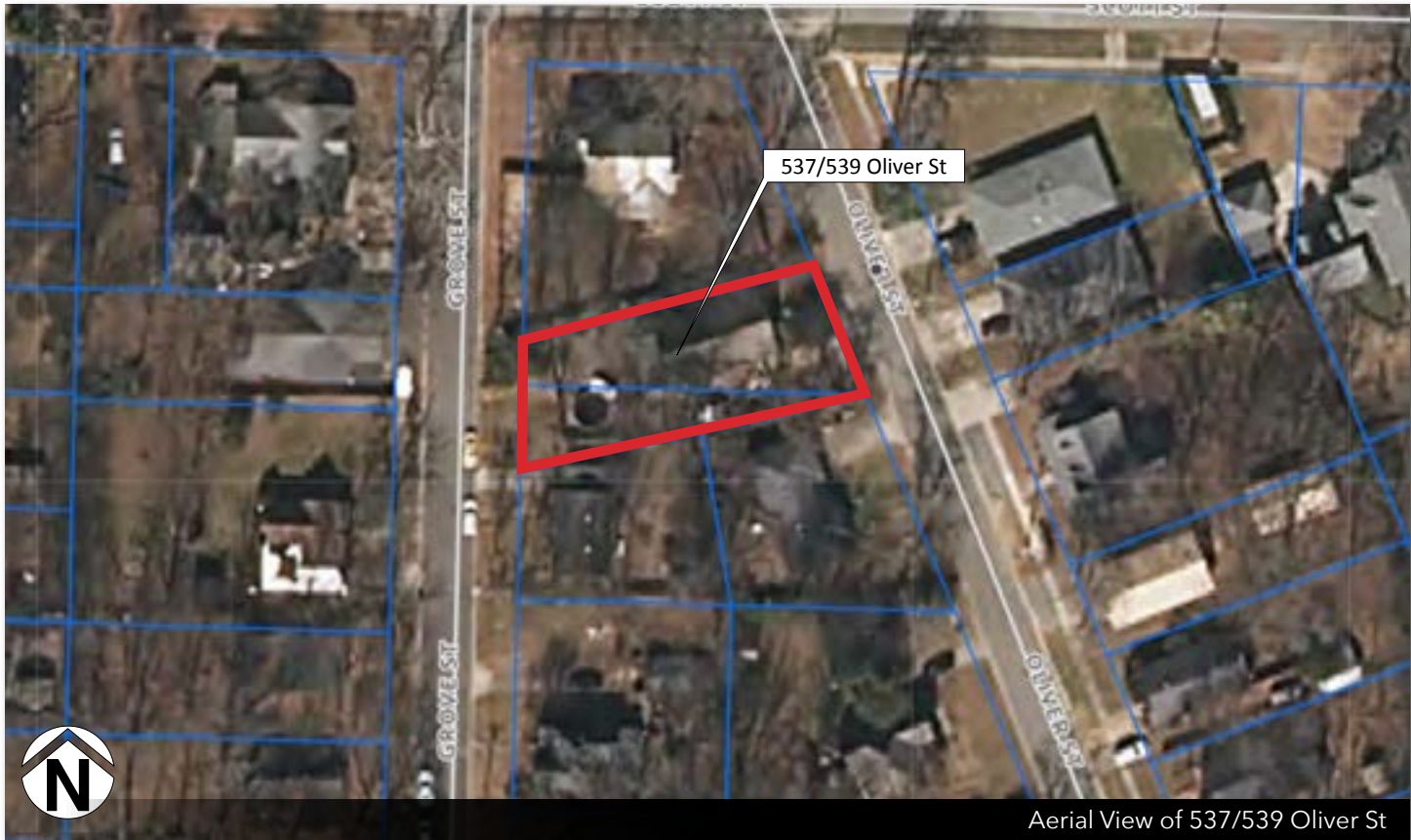
**Skylights.** None are shown.

**Mechanical Screening.** HVAC units should be visually located away from streets or screened by landscaping. No HVAC equipment is shown.

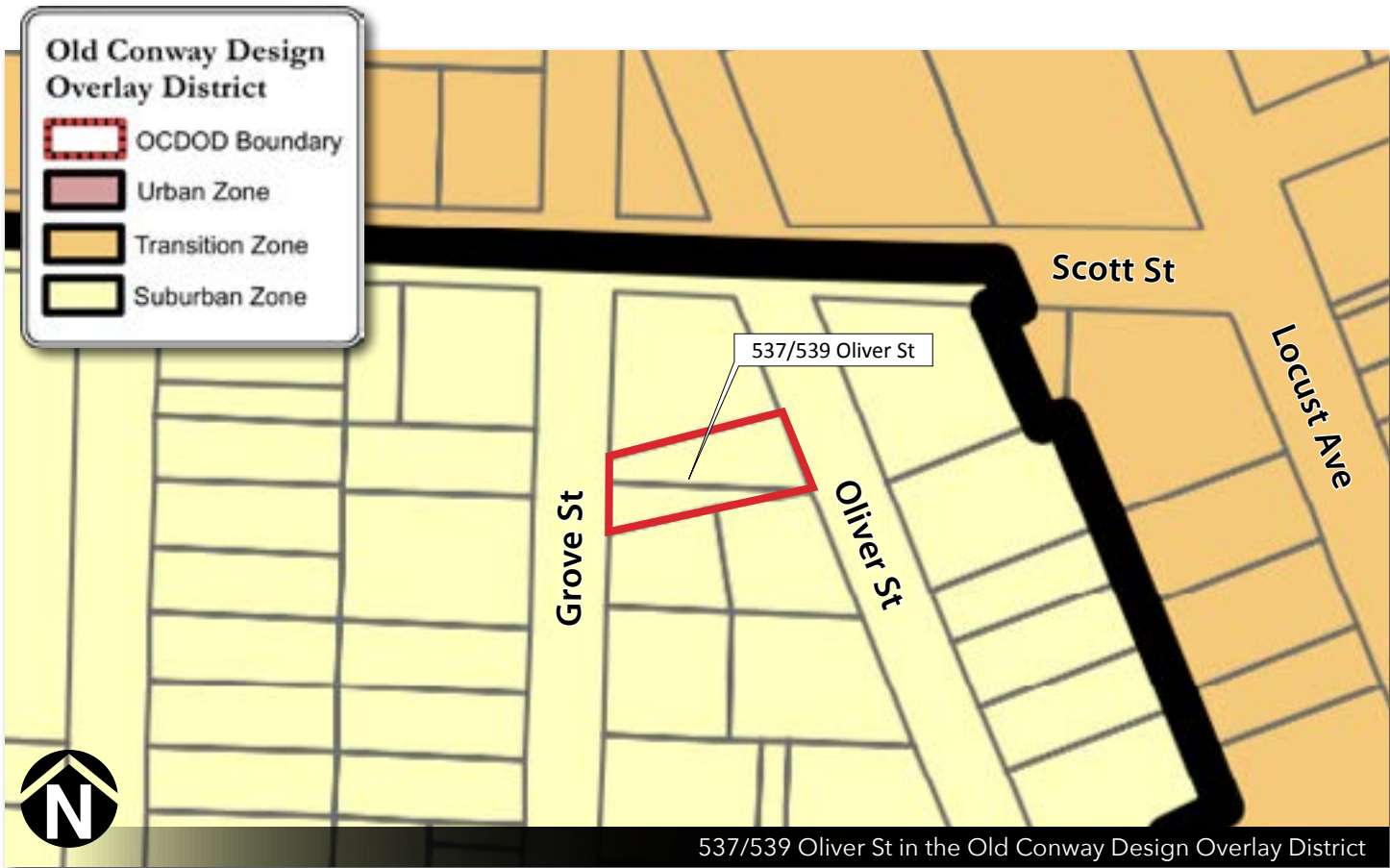
### RECOMMENDATIONS

HDC Staff recommends approval of the carport and rear porch with the following conditions:

1. The carport shall be constructed as shown in submitted plans with columns matching the existing residence.
2. Driveway - materials?
3. The broken portion of sidewalk along Oliver Street shall be replaced.
4. Doors and windows - Reuse of existing doors and windows are encouraged. Wide window and door trim matching existing traditional wide moldings shall be used.
5. The rear porch shall be allowed as proposed in a cedar "timber frame" style.



Aerial View of 537/539 Oliver St

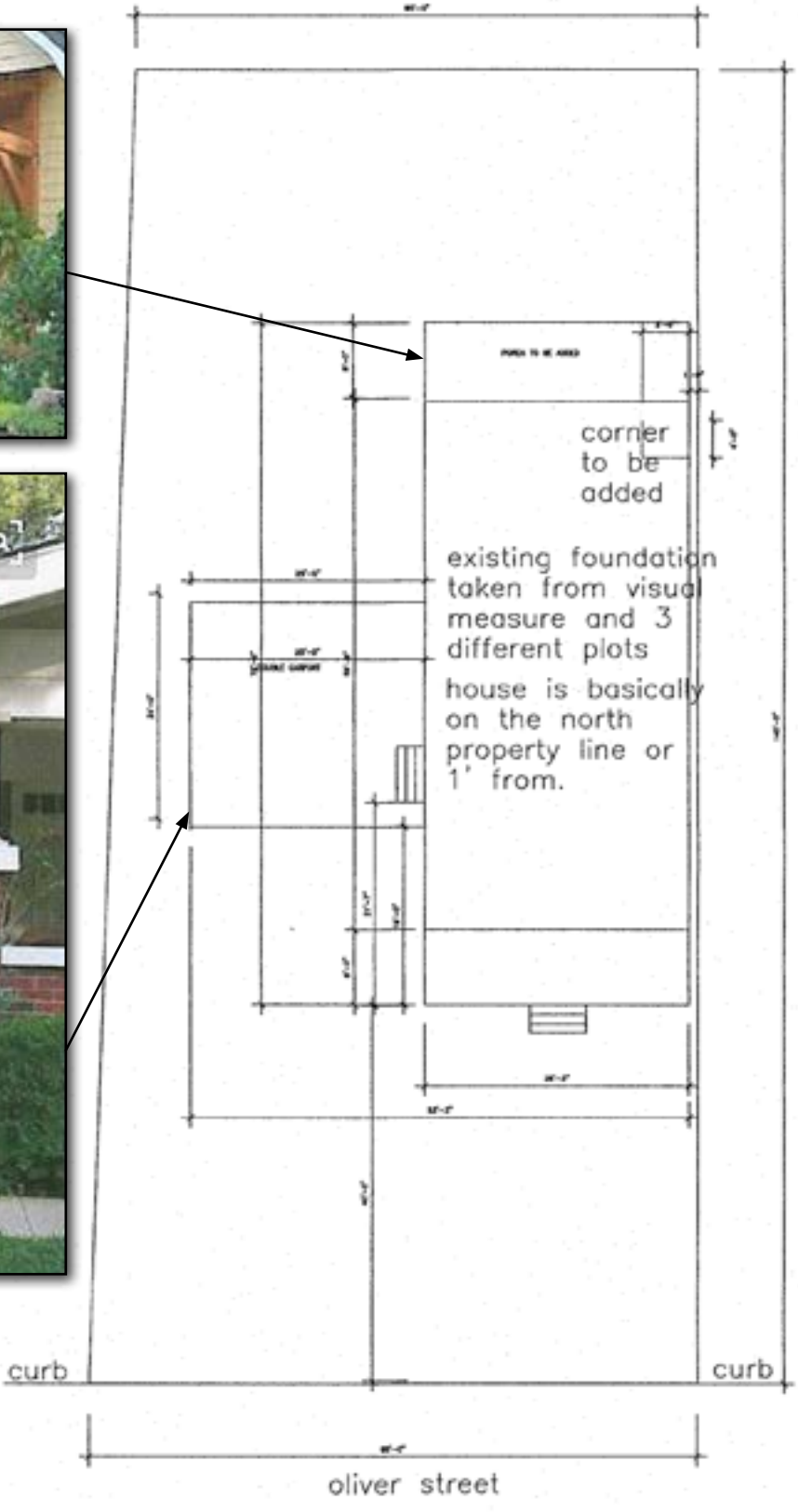


537/539 Oliver St in the Old Conway Design Overlay District

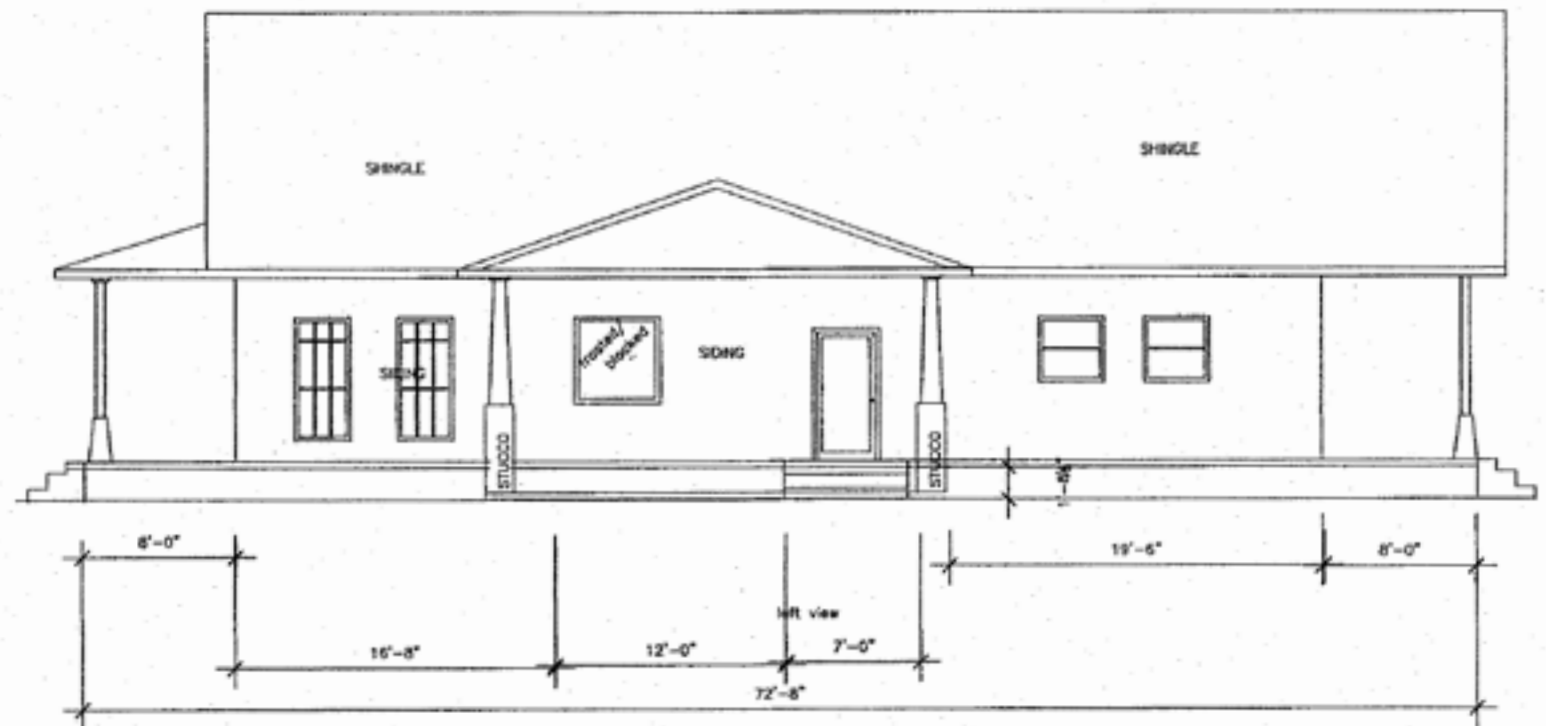
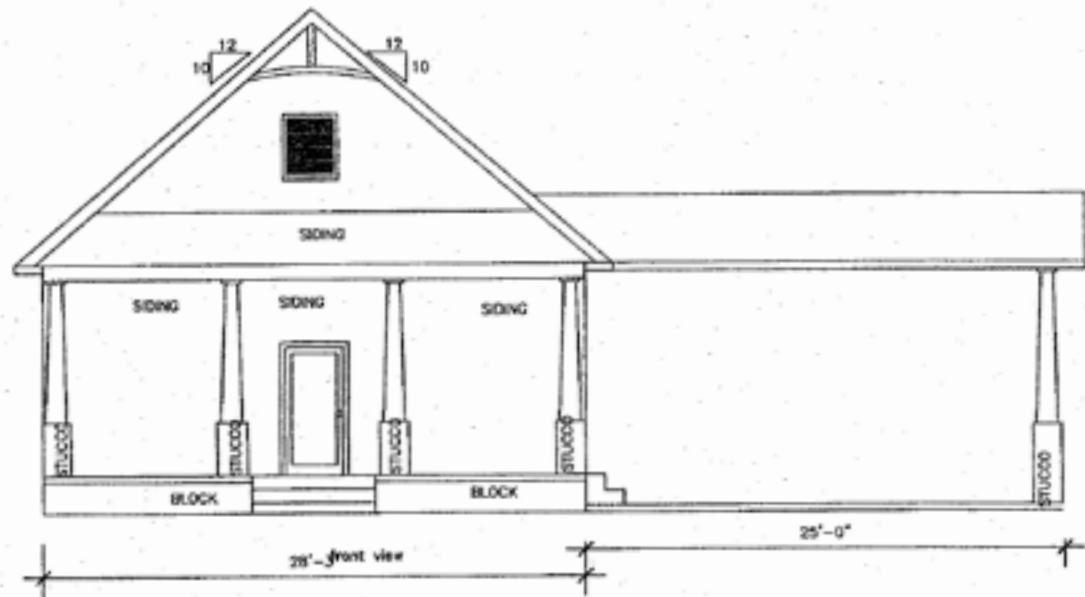
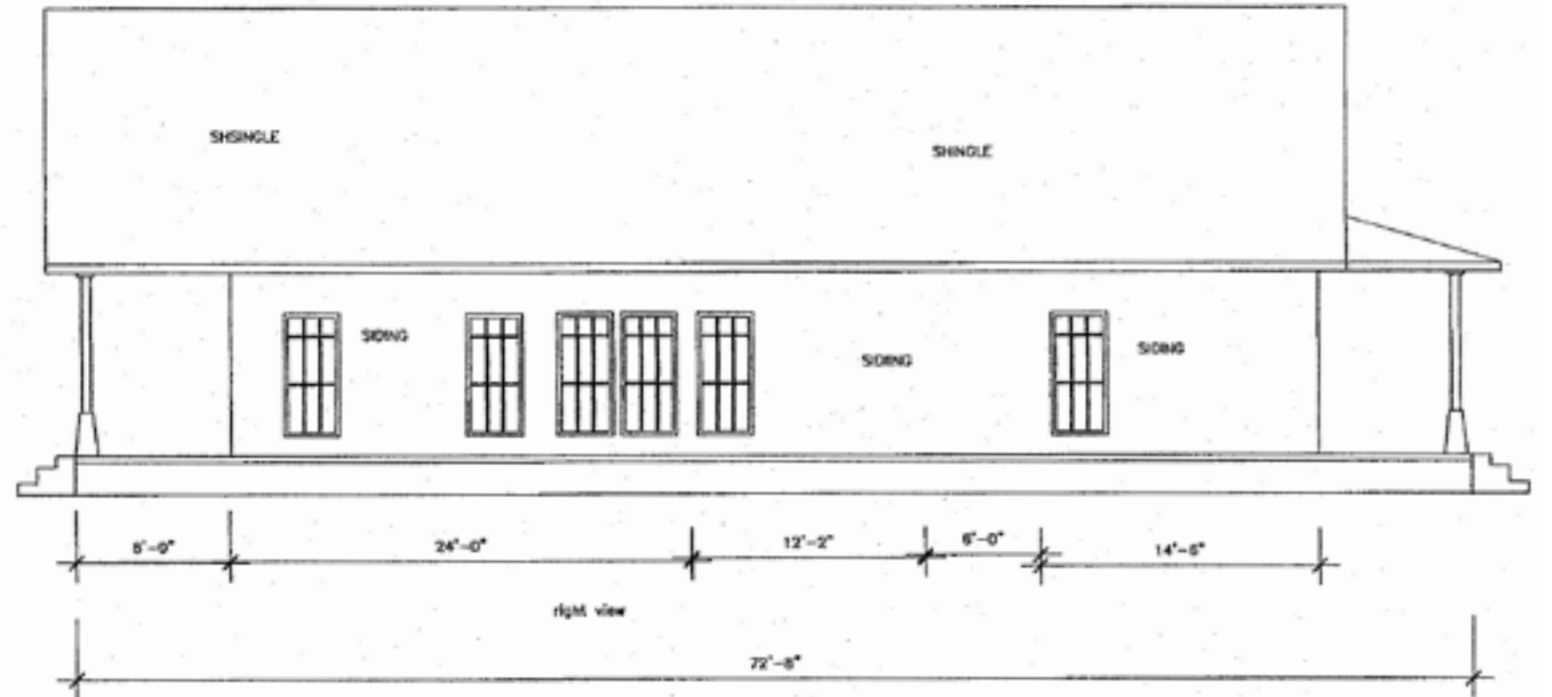
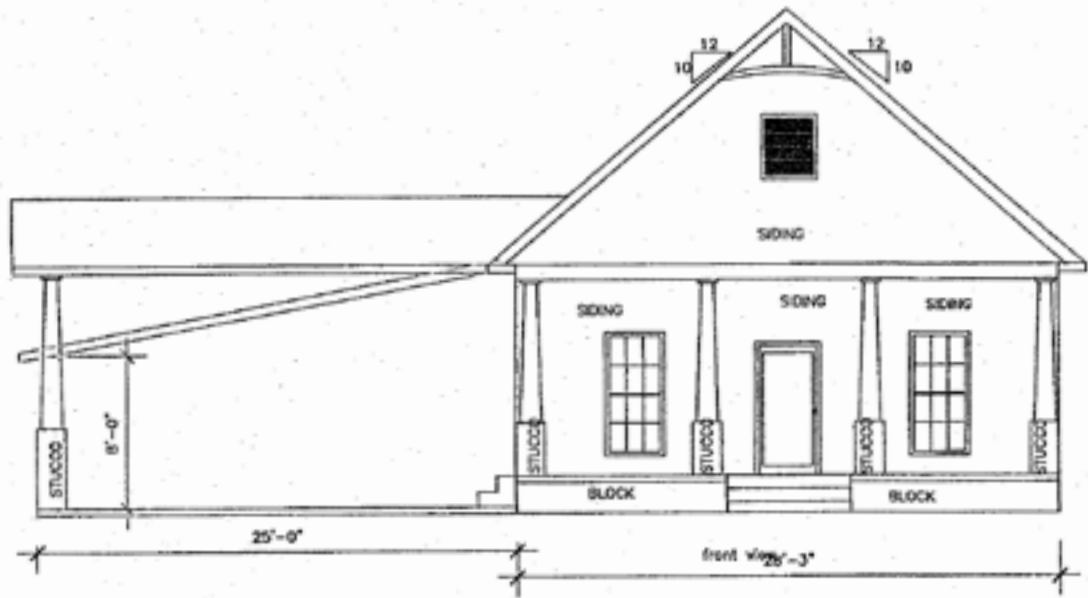
**Site Plan with Proposed Modifications**



Design concept images



Elevations





# D2 LENDERMAN DENTAL OFFICE BUILDING - 841 DONAGHEY AVENUE

## OLD CONWAY DESIGN OVERLAY DISTRICT CERTIFICATE OF APPROPRIATENESS REVIEW LENDERMAN DENTAL OFFICE BUILDING 841 DONAGHEY AVENUE

### APPLICANT

Brandon Ruhl  
Taggart Architects  
4500 Burrow Dr  
North Little Rock, AR 72116

### OWNER

Leigh Circle, LLC  
2033 Foster Drive  
Conway, AR 72034

### SITE

Address: 841 Donaghey Avenue

Lot Area: ±1.00 acre.

**Present Zoning.** O-2 (Quiet Office) in the Old Conway Design Overlay District.

**Abutting Zoning.** R-2A (Large Lot Duplex), R-1 (Single Family Residential), and S-1 (Institutional) in the Old Conway Design Overlay District.

**Surrounding Area Structures.** The property is located in the Old Conway Design Overlay District at the southwest corner of Donaghey and Caldwell. Currently the property is occupied by a 2300 s.f. one story single family craftsman cottage in disrepair. The property is surrounded by single family and duplex residential in minimal traditional and ranch styles. The residence immediately south has been converted to an insurance office.

### General Description of Property and Proposed Development.

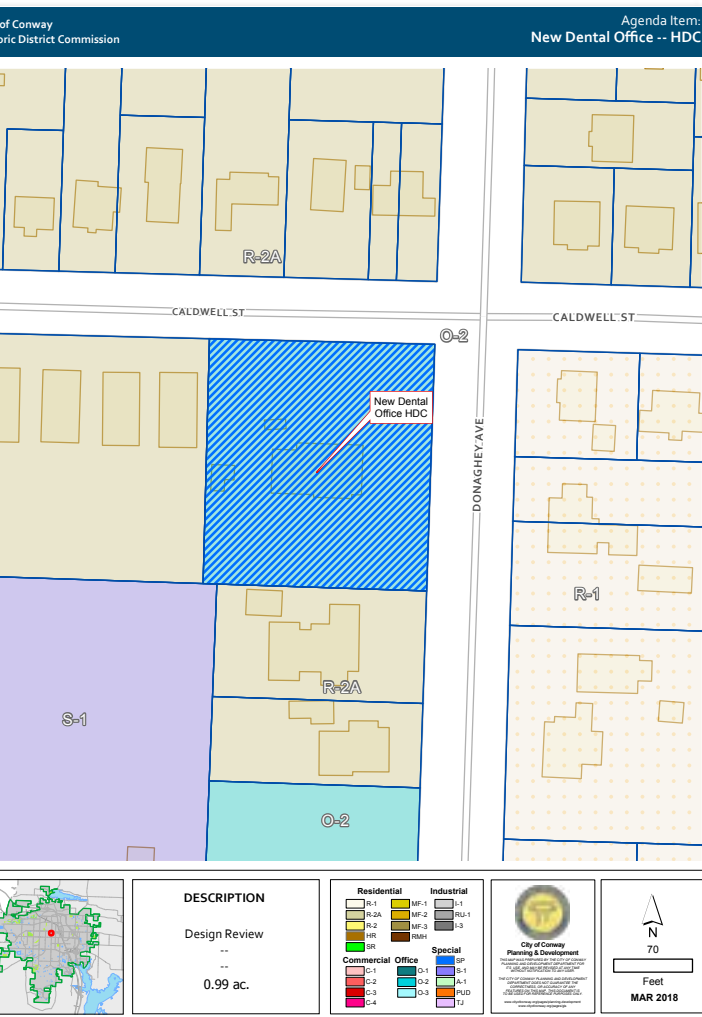
The property was rezoned from R-2A duplex to O-2 office in July 2017. The applicant is proposing a new 6800 s.f. office building and parking lot. The property is within the Old Conway Overlay District's Suburban Zone. However, due to the plan for Donaghey Avenue to transition to an urban corridor, the Transitional Zone regulations could be applicable.

**Setbacks.** The Master Street Plan calls for a future roundabout at the intersection of Donaghey and Caldwell. Additional right of way dedication along Donaghey and Caldwell will also be required. The submitted plan has allowed for the required right of way dedication and roundabout.

The applicant is proposing 2 options. Option 1 has 1 driveway accessing Caldwell. Option 2 has 2 driveways; one on Caldwell and one on Donaghey.

### Option One:

Front (Donaghey): 22'-6" to ROW. 20' new ROW  
Secondary Front (Caldwell): 49'-2". 30' new ROW  
Rear: 77'  
South Side: 34'-6" feet



### Option Two:

Front (Donaghey): 16' to ROW. 14'-5" new ROW  
Secondary Front (Caldwell): 32'-4". 6' new ROW  
Rear: 77'  
South Side: 60'

The average front setback for Donaghey is 31'. (Suburban Range 26.3' to 35.65')

The average front setback for Caldwell is 33'. (Suburban Range 28' to 38')

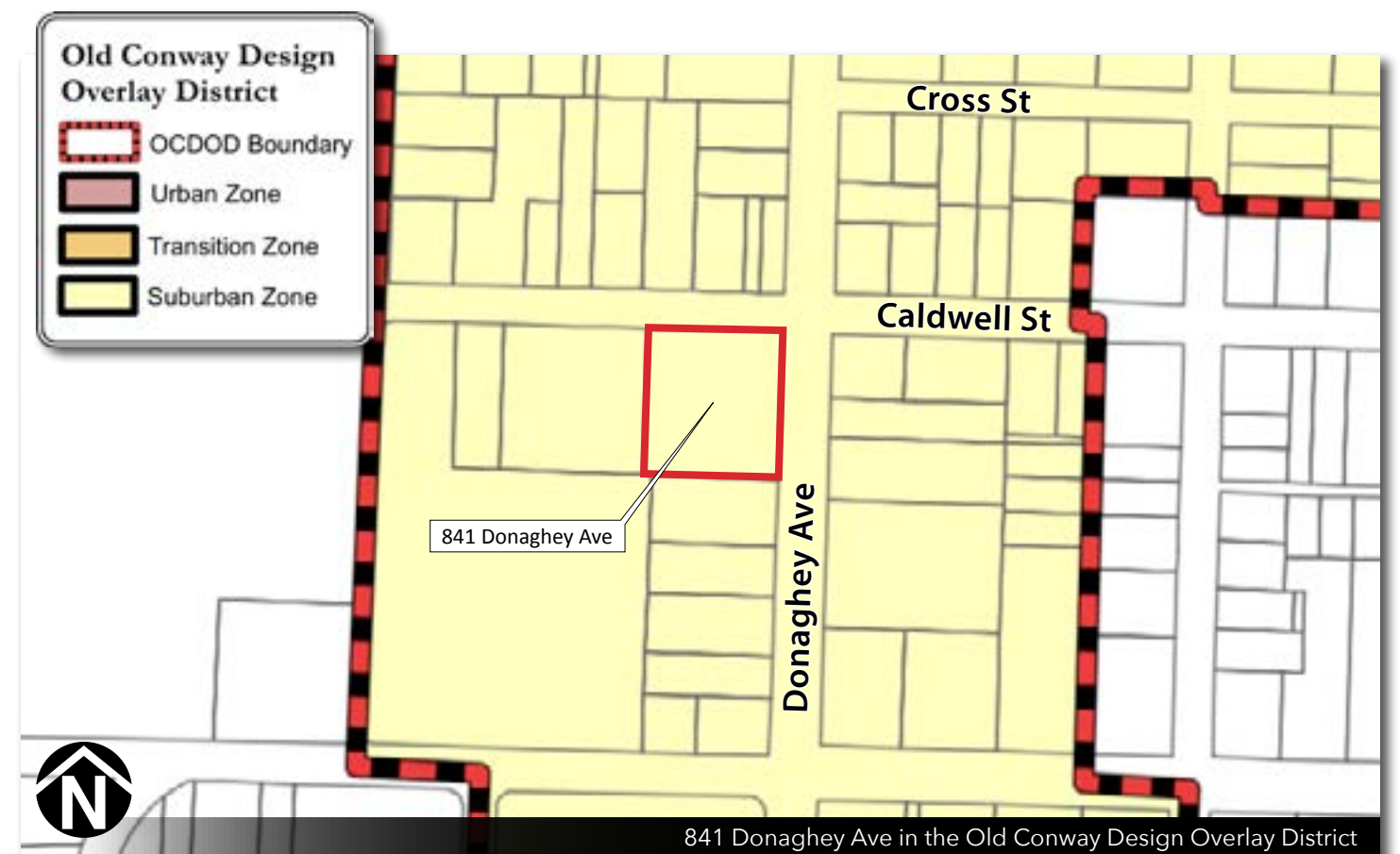
Urban Transition Zone street setbacks: 6' to 18'.  
Urban Transition Zone side 0' and rear setbacks 5'

Option 1 places the structure in closer to compliance with suburban standards when considering the existing property lines. After right of way dedication, these setbacks will be slightly less than suburban guidelines.

Option 2 places the structure closer to the streets yielding a reduced setback in line with Urban Transitional guidelines.



Aerial View of 841 Donaghey Ave



841 Donaghey Ave in the Old Conway Design Overlay District

Either option would seem to yield setbacks that will blend with current area structures. When Donaghey is improved and a roundabout constructed, Donaghey will become more urban in form. An improved Donaghey will create new wide sidewalks and result in the structure closer to the curb.

Setbacks variances can be approved by the HDC

**Spacing.** Established spacing distance pattern between area structures. The proposed spacing is compatible with other area structures.

**Lot Coverage.** The Old Conway Design Overlay allows for 60% impervious in the Suburban Zone and 80% impervious lot coverage for the Urban Transitional Zone. Option 1 shows around 50% pervious green areas and Option 2 shows around 42%. These coverages reflect the current street configurations. When Donaghey is improved, these pervious areas will be reduced. The reduction will be more in line with the desired future urban form.

**Orientation.** The building’s main facade is on Donaghey. A similar facade is shown on the west-parking lot entrance side. The elevation presented to Caldwell is similar to that of a large residence with a garage.

**Alley.** There are no alleyways in the property’s block.

**Driveway / Parking.** Option 1 shows a parking lot at the rear of the structure accessed from Caldwell. The parking lot is appropriately screened by the structure. Option 2 shows a parking lot at the rear of the structure, but adds additional parking and another drive accessing Donaghey. Option 1 shows 35 parking spaces. Option 2 shows 46 parking spaces. Planning Development Review places the appropriate number of spaces at 19 spaces minimum and 28 maximum. Both options appear to show too many parking spaces for a 6800 s.f. office building. Spaces above the maximum may be constructed; however, they must be low impact design. Porous concrete, bio-swales, or some other LID design must be incorporated into spaces above the allowed maximum. The proposed driveways also appear to be 24 feet wide. A more traditional residential driveway or urban curb cut would be less wide.

**Sidewalks.** There is an existing sidewalk along Donaghey. Old Conway Review and Planning Development Review requires construction of a new sidewalk along Caldwell. This sidewalk construction may be better served in the future. There are several large oak trees in the path of a new sidewalk. Any sidewalk constructed at this time would likely be replaced when Donaghey improvements take place in the future. A sidewalk in-lieu fee may be appropriate.

**Fences.** No fencing is proposed. A chain link fence currently surrounds the property. This fence should be removed.

**Tree preservation.** There are several significant trees affected by this development. There appears to be a large magnolia and a couple other large canopy trees in the center of the property near the residence that will need to be removed. There are quite a few large trees along the property perimeter, possibly

in the street right of way. The submitted plans show these trees remaining. When Donaghey is improved and/or roundabout constructed, these trees will likely need to be removed. Additional interior trees will be required as part of Planning Development Review.

**MASSING**  
**Scale.** The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The new building is large in comparison to other area structures. However, the lot is also much larger than other area lots. The structure is setback sufficiently that it blends with smaller area structures.

**Height.** The average height of area structure’s eaves and cornices. Also, the first floor elevation / height relationship. The proposed building is one story with the appearance of a 1 and 1/2 story. Ceilings are a minimum of 10 feet.

**Width.** New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The width of the building is wider than area residences. The width is somewhat broken up as the building has a dental office flanked by two smaller office spaces. Although the structure is wide, the width is balanced by the large corner lot.

**Directional expression.** Measurement of the height to width ratio of a structure’s elevation. Due to a raised roofline and its 1 1/2 story appearance, the height to width ratio appears to be well proportioned.

**Footprint.** The area of land covered by a structure should be in relation to the majority of neighboring structures. The building’s footprint is larger than other area structures yet due to the building’s layout and large lot, the footprint is not imposing.

**Complexity of form.** The level of detailing and breaks in wall planes of a structure. The structure has multiple breaks in the wall planes. The roofline is broken through the use of gables, dormers, and hip/mansard roof.

**Facade, wall area, rhythm.** Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. There are few historic structures in the area with the exception of a one story residence at the southeast corner of Donaghey and Caldwell. The new building does present a historic form in the amount of windows to solid wall facade area. A historic rhythm and symmetry is established, especially on the west and east facades.

**DESIGN ELEMENTS**  
**Style.** See Staff Recommendations.

**Entries, Porches, and Porticos.** The new structure will have its primary entry area on the rear (west) accessed from the parking lot. Doors are provided to access the shaded patio area on the east (Donaghey) side,; however, these doors will not serve as entry points. A shaded porch area is shown along the east (Donaghey) side. This porch provides light and a view for dental patients while providing some privacy.

**Doors and windows.** Proposed windows and doors are assumed to be modern fixed glass and aluminum. An elevation note states that the windows are “black aluminum storefront windows”. As an office building, this would seem appropriate.

**Awnings.** A shade structure/arbor is proposed on the east side of the structure. The shade structure provides shading and privacy for dental patient windows. Used in this manner, the shade structure accentuates the architectural features of the building and possibly creates a more “residential” feel similar to a front porch.

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No lighting is shown on the plans. Parking lot lighting will be reviewed as part of Planning Development Review.

**MATERIALS & DETAILING**  
**Architectural Details, Siding, and Bricks.** The structure is clad in brick, and stucco with glass storefronts. The applicant has stated that traditional cement based stucco will be used.

**Shutters.** Not applicable.

**Roof.** The visible roof is shown as an architectural composition asphalt shingle roof.

**Decks/Plaza Space.** None are proposed.

**Skylights.** Not applicable.

**Mechanical Screening.** HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street. HVAC equipment is shown as roof top mounted. The HVAC equipment is not shown on the submitted plans. Old Conway Overlay and Planning Development review regulations require all viewable HVAC equipment to be screened and appropriately placed on secondary facades.

**RECOMMENDATIONS**  
 The Donaghey Corridor Study recommends that area structures no longer useful or desirable as residential be allowed to transition to office and/or retail uses. Ultimately, these repurposed structures could be replaced with traditional urban structures.

The existing residence is in disrepair and the corner lot is underutilized. The proposed structure somewhat leap-frogs the recommended transitional phase and goes straight to creating a new structure. The proposed structure sets a precedent for the area as it transitions from single family residential to a walkable urban corridor. A true urban corridor is several years away and the proposed structure seems to strike a balance between blending with existing residences and setting up for a future Donaghey including a roundabout at the intersection of Donaghey and Caldwell.

Staff recommends approval with the following conditions:

1. The office building and parking lot shall be constructed as shown in submitted plans. Modifications due to technical reasons may be approved by the Planning Director.
2. Option 1 or Option 2? Or Both?
3. Setbacks as shown on submitted plans shall be allowed.
4. Parking numbers. Parking over Planning Development Review maximum must be mitigated with low impact design.
5. Driveway widths shall be 24 feet maximum unless additional width is required by the Fire Department.
6. Trees interior to the lot may be removed. Significant trees along the street right of way shall be preserved unless removal is allowed as part of Planning Development Review.
7. Brick and/or cement based stucco shall be used for exterior facades.
8. Determination of sidewalk construction will be made during Planning Staff Development Review.
9. HVAC equipment shall be screened as required by Planning Staff development review.

VIEWS FROM DONAGHEY AVE



VIEWS FROM INTERIOR OF PROPERTY



**D3 ZION TEMPLE CHURCH OF GOD IN CHRIST - 1272 SUTTON STREET**

**OLD CONWAY DESIGN OVERLAY DISTRICT  
CERTIFICATE OF APPROPRIATENESS REVIEW  
ZION TEMPLE CHURCH OF GOD IN CHRIST  
1272 SUTTON STREET**

**APPLICANT**

Cody Ferris  
Sowell Architects  
1315 North Street  
Conway, AR 72034

**OWNER**

Zion Temple COGIC  
860 Pine Street  
Conway, AR 72032

**SITE**

**Address.** Northwest corner of Sutton and Pines Streets - The existing Church sanctuary is diagonally across at the southeast corner of Pine and Sutton Streets.

**Lot Area.** ± 1.11 acres.

**Present Zoning.** T5 (Urban) within the Old Conway Design Overlay Urban Zone.

**Abutting Zoning.** T5 (Urban) within the Old Conway Design Overlay Urban Zone.

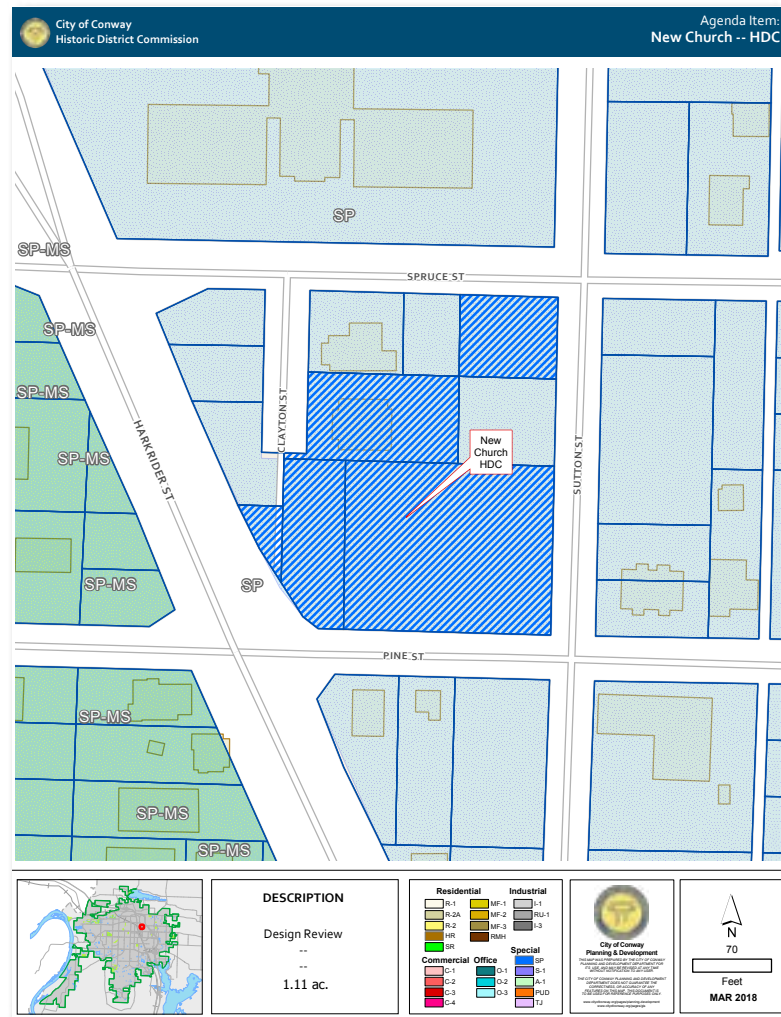
**Surrounding Area Structures.** There is a one story vacuum cleaner store (former convenience store) and small hand formed concrete block structure (barber) south across Pine Street. There is a used car lot across Harkrider. Ranch style single family and duplex residences are to the north and east.

**General Description of Property and Proposed Development.**

The proposed sanctuary design and additional parking lots were approved by the HDC in September 2014. At that time, the new sanctuary was proposed to be located adjacent to the existing sanctuary. Since that time, the Church has obtained additional property and would now like to place the main facade of the structure at the corner of Harkrider and Pine Street.

The property is vacant. The existing Church sanctuary and parking lot are southeast of the proposed new 13,711 square foot sanctuary location. Additional parking lots are proposed at the rear of the sanctuary, rear of the duplex to the north and at the southwest corner of Sutton and Spruce. A concrete plaza area with tree wells is planned for the Harkrider facade. The sanctuary property and parking lots are within the Old Conway Urban Zone. Old Conway Civic Structure guidelines should also be used.

**Setbacks.** Proposed structures should respect the predominant setbacks of area structures, especially the front setback. The sanctuary is located in the Old Conway urban zone. Old Conway urban guidelines state that 80% of the front setback should be within 3 feet of the property line. Due to the unusual shape



of the Harkrider/Pine street intersection and a 15 foot utility easement along Pine Street, the structure cannot totally meet the urban setback requirements. The proposed location has been placed as close to the Harkrider and Pine Street property lines as possible. The north (side) and east (rear) setbacks are well away from the property boundaries.

**Spacing.** Established spacing distance pattern between area structures. The new sanctuary is somewhat set apart from other area structures. The proposed spacing would seem to fit into the established pattern along Harkrider.

**Lot Coverage.** The Old Conway Urban District allows up to 100% impermeable lot coverage. A large amount of the property will be covered by structure and parking; however, there will be pervious areas between the sanctuary and the Pine Street sidewalk, parking islands, and around the duplex which is to remain.

**Orientation.** The direction in which the front of a building faces. The church's primary facade will be oriented to Harkrider Street. This is appropriate.



Aerial View of 1272 Sutton St



1272 Sutton St in the Old Conway Design Overlay District

**Alley.** There are no alleys in the proposed block of construction. Clayton Street is partially closed. The south half of Clayton Street was closed in January 2011 as suggested by the Northeast Old Conway Design Overlay Plan. The Church plans to access an internal circulation drive from the remaining portion of Clayton Street.

**Driveway/Parking/Carport.** In the Old Conway Urban Zone, parking is ideally located at the rear or side of the structure. There is an existing parking lot immediately in front of the existing sanctuary. Three additional parking lots are proposed; a one behind the new sanctuary, one at the southwest corner of Sutton and Spruce, and behind the existing duplex immediately north of the new sanctuary location. These parking lots are typical asphalt paved, curbed, and guttered. Development review landscaping guidelines have been followed and are shown in the landscaping plan. Low brick walls would be appropriate to screen the entrances to the parking lots accessed from Pine and Spruce Streets.

**Sidewalks.** The OCDOD Ordinance requires that sidewalks be constructed or repaired as part of new construction. New sidewalks should be constructed along all street frontages. A wide, 8 foot sidewalk with tree wells is shown along Pine Street. Typical 5 foot sidewalks are shown along Sutton and Spruce Streets. Power poles, drop inlets, and other complications will need to be considered for proper sidewalk location. Exact locations can be further reviewed during Planning Staff development review.

**Fences.** No fences is proposed.

**Tree preservation.** There are 2-3 substantial existing trees at the rear of the Church-owned duplex. The proposed parking lot would require removal of these trees. New canopy and understory trees will be planted as shown on the site plan and will help remediate the removal of these trees.

**MASSING**

**Scale.** The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The new sanctuary will be large in relation to other area structures. However, there is adequate setback between the new structure and neighboring structures. As Harkrider redevelops, the structure’s scale will be matched by other new structures.

**Height.** The average height of area structure’s eaves and cornices. Also, the first floor elevation / height relationship. The new structure will be approximately twice as tall as the existing sanctuary not including the steeple. Therefore, it will be a dominant area structure. See Civic Structure comments.

**Width.** New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. See Civic Structure comments.

**Directional expression.** Measurement of the height to width ratio of a structure’s elevation. See Civic Structure comments.

**Footprint.** The area of land covered by a structure should be in relation to the majority of neighboring structures. See Civic Structure comments.

**Complexity of form.** The level of detailing and breaks in wall planes of a structure. The new sanctuary has large wall planes along the south and east. These planes are detailed with windows and doors. These openings help create complexity and add to an otherwise black facade. The west entry facade has a large amount of glass, an entry portico, and detailing. The north facade is somewhat plain. The internal function of this area is mostly utilitarian with the restrooms and closets. The north facade would also be the area of future expansion. The north facade will also feature a drive through drop area covered by a canopy.

**Facade, wall area, rhythm.** The new sanctuary is a civic structure within the urban transition zone. The urban facade standards define a traditional storefront. The civic guidelines better define a large church structure. Civic structure guidelines state, “New facades should be well composed, and articulated with a variety of materials and planes.” The proposed structure seems to meet this standard.

**DESIGN ELEMENTS**

**Style.** The style should compliment existing and area structures. The proposed sanctuary is a contemporary structure with a traditional form. It features brick with EIFS detailing. Metal panels are proposed in the gable areas.

**Entries, Porches, and Porticos.** Civic guidelines state, “Public entrances should be prominent, preferably through the use of a portico or awning that will provide weather protection.” The entry off Harkrider Street is clearly articulated.

**Awnings.** When new construction uses awnings, traditional awning designs, materials, and placement should be used. A canopy is proposed on the north side of the structure for auto drop off. The canopy is a flat roofed pre-engineered metal canopy.

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No parking lot light fixtures are shown on the submitted drawings. Planning Department development review will ensure that any fixtures are shielded and directed downward.

**Civic Structure.** The Old Conway Design Guidelines include a section on civic and institutional structures. These structures should exhibit a sense of importance, yet still relate to the human scale. In other words, the structure should not simply be a massive building. The proposed sanctuary is monumental in size, however, the facades, doors, windows, etc. still relate to the human scale. The public entrance is prominent and appropriately sited to the streetscape by use of a plaza with landscaping features.

**MATERIALS & DETAILING**

**Architectural Details, Siding, and Bricks.** Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The structure has brick siding and features EIFS detailing above the windows and doors, quoins, and soffit. The columns are also noted as EIFS.

**Shutters.** No shutters are proposed.

**Roof.** The roof is a standing seam metal roof. The color is not indicated. Metal roofing is generally discouraged, however, this regulation was largely written for residential structures.

**Decks/Plaza Space.** A plaza space is proposed at the Harkrider entrance. This plaza helps define the sanctuary’s monumental entrance and provides a transition from the angular Harkrider/Pins Street intersection.

**Skylights.** None proposed.

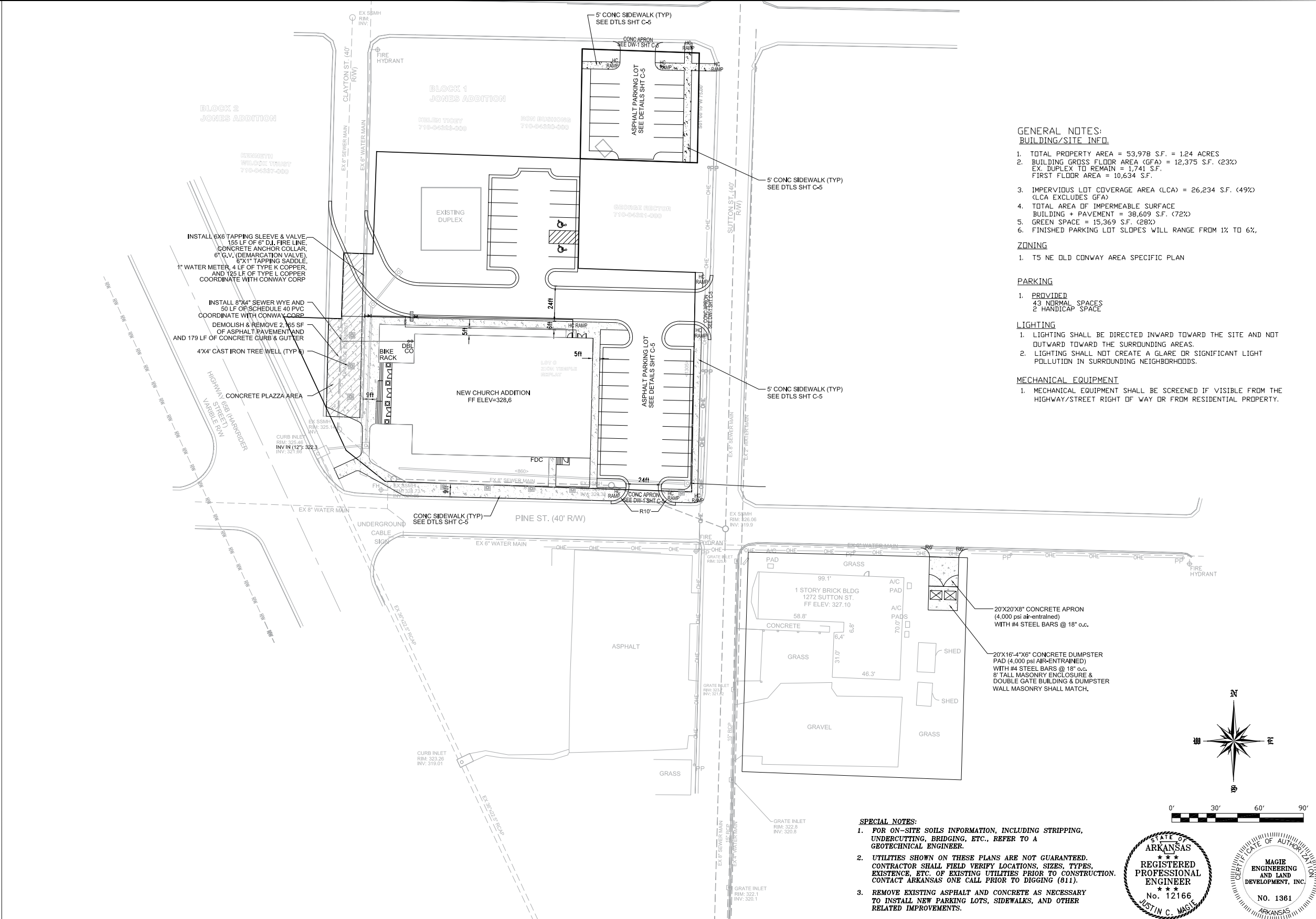
**Mechanical Screening.** HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street. HVAC equipment should be appropriately screened and located at the rear, south side, or roof mounted. Roof mounted HVAC should be screened.

**Signage.** Any freestanding signage over 16 square feet in area and 6 feet in height must be approved by the HDC. No new signage is proposed.

**RECOMMENDATIONS**

1. The Church building and parking lots shall be constructed as shown on submitted plans.
2. The setbacks shall be allowed as shown on the submitted site plan.
3. Sidewalks shall be constructed as shown. Exact sidewalk locations and sizes shall be determined as part of Planning Staff development review.
4. Trees and landscaping shall be planted as indicated on the site plan. Trees are to be 2” caliper at time of planting. Additional trees and shrubs may be required by Planning Staff as part of planning development review. Significant trees at the rear of the duplex may be removed.
5. 3 foot tall brick walls shall be constructed at the parking lot entrances from Spruce and Pine Streets.
6. HVAC equipment shall be appropriately screened and located at the rear or sides of the structure. HVAC equipment shall not be roof mounted.
7. Any site lighting shall be inward, downward, and shrouded.
8. Metal roof shall be allowed?

Proposed Site Plan



- GENERAL NOTES:  
BUILDING/SITE INFO.**
- TOTAL PROPERTY AREA = 53,978 S.F. = 1.24 ACRES
  - BUILDING GROSS FLOOR AREA (GFA) = 12,375 S.F. (23%)  
EX. DUPLEX TO REMAIN = 1,741 S.F.  
FIRST FLOOR AREA = 10,634 S.F.
  - IMPERVIOUS LOT COVERAGE AREA (LCA) = 26,234 S.F. (49%)  
(LCA EXCLUDES GFA)
  - TOTAL AREA OF IMPERMEABLE SURFACE  
BUILDING + PAVEMENT = 38,609 S.F. (72%)
  - GREEN SPACE = 15,369 S.F. (28%)
  - FINISHED PARKING LOT SLOPES WILL RANGE FROM 1% TO 6%.
- ZONING**
- TS NE OLD CONWAY AREA SPECIFIC PLAN
- PARKING**
- PROVIDED  
43 NORMAL SPACES  
2 HANDICAP SPACE
- LIGHTING**
- LIGHTING SHALL BE DIRECTED INWARD TOWARD THE SITE AND NOT OUTWARD TOWARD THE SURROUNDING AREAS.
  - LIGHTING SHALL NOT CREATE A GLARE OR SIGNIFICANT LIGHT POLLUTION IN SURROUNDING NEIGHBORHOODS.
- MECHANICAL EQUIPMENT**
- MECHANICAL EQUIPMENT SHALL BE SCREENED IF VISIBLE FROM THE HIGHWAY/STREET RIGHT OF WAY OR FROM RESIDENTIAL PROPERTY.

- SPECIAL NOTES:**
- FOR ON-SITE SOILS INFORMATION, INCLUDING STRIPPING, UNDERCUTTING, BRIDGING, ETC., REFER TO A GEOTECHNICAL ENGINEER.
  - UTILITIES SHOWN ON THESE PLANS ARE NOT GUARANTEED. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, SIZES, TYPES, EXISTENCE, ETC. OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT ARKANSAS ONE CALL PRIOR TO DIGGING (811).
  - REMOVE EXISTING ASPHALT AND CONCRETE AS NECESSARY TO INSTALL NEW PARKING LOTS, SIDEWALKS, AND OTHER RELATED IMPROVEMENTS.

STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ENGINEER  
No. 12166  
JUSTIN C. MAGLE

CERTIFICATE OF AUTHORITY  
MAGIE ENGINEERING AND LAND DEVELOPMENT, INC.  
No. 1361  
ARKANSAS

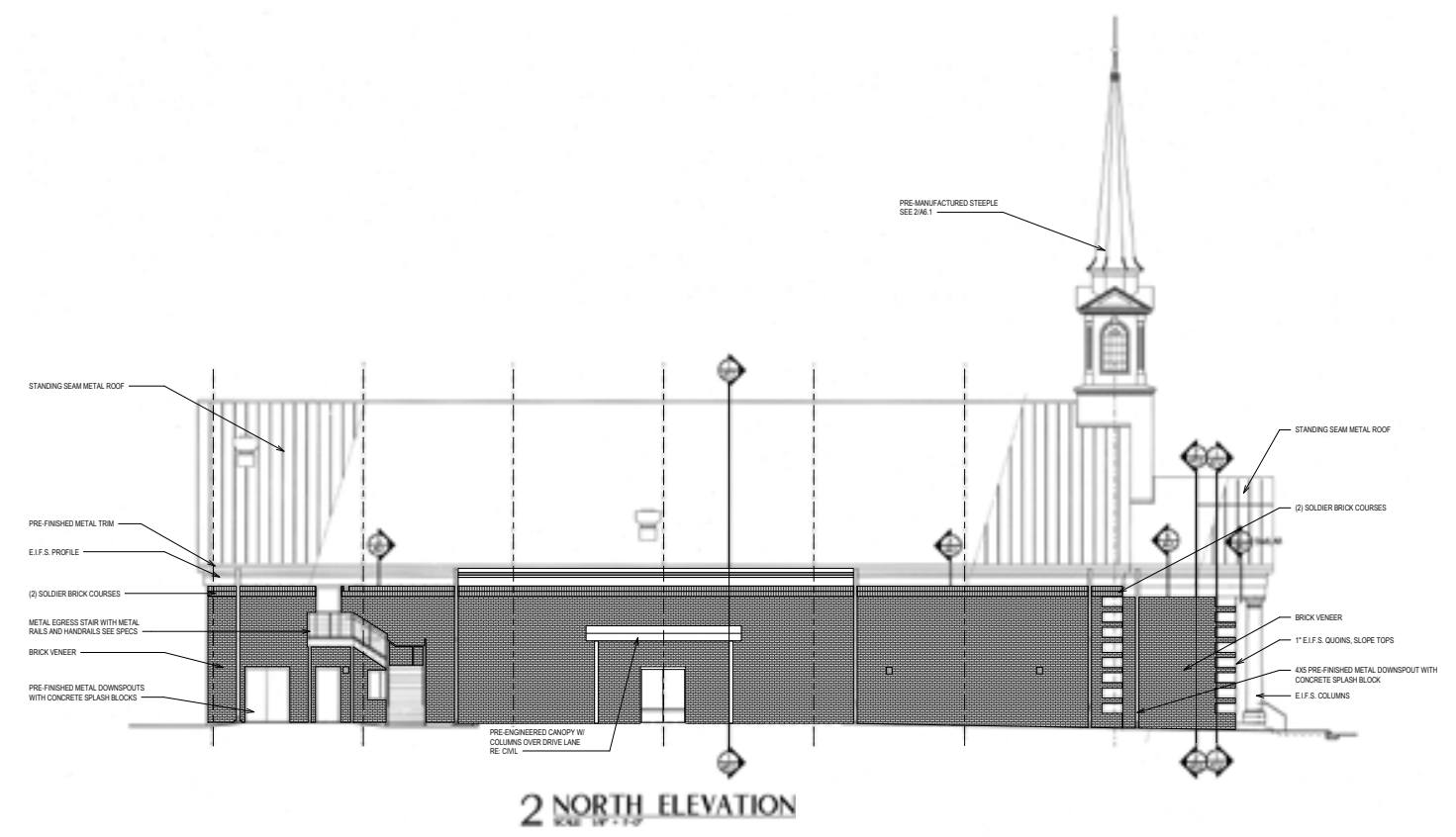
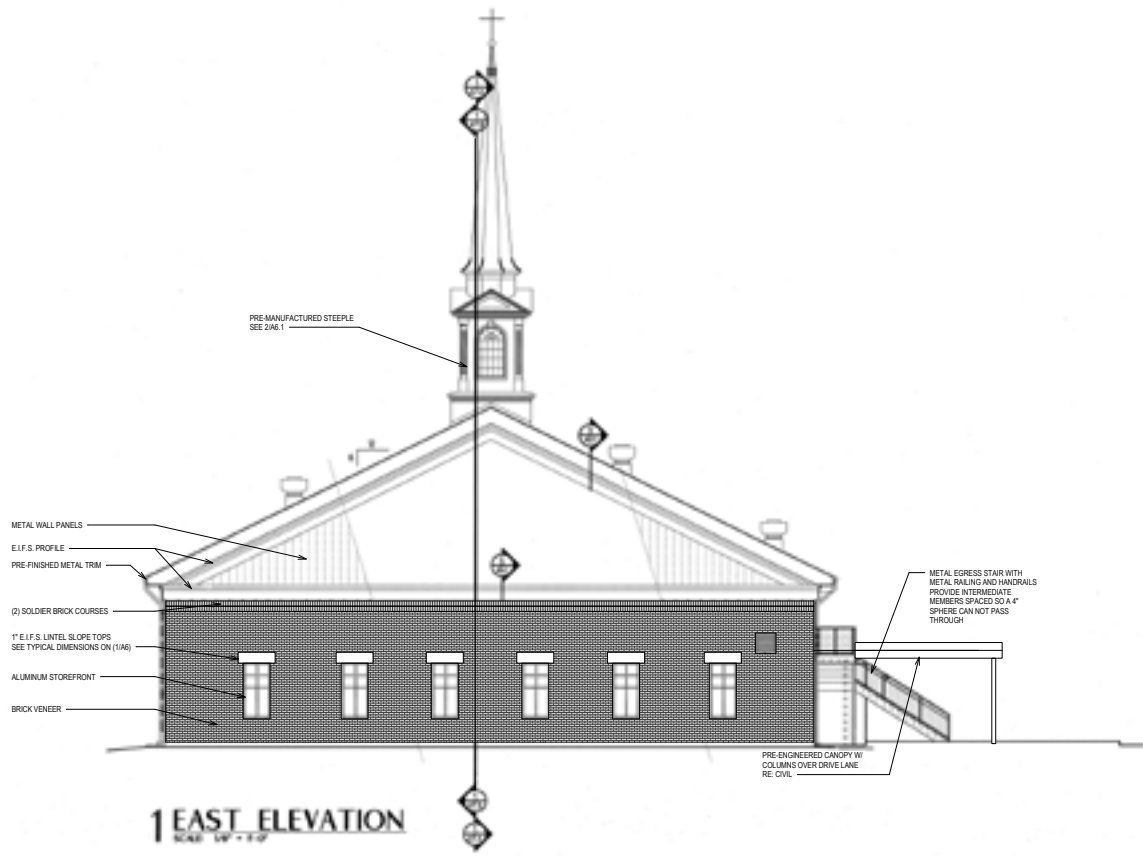
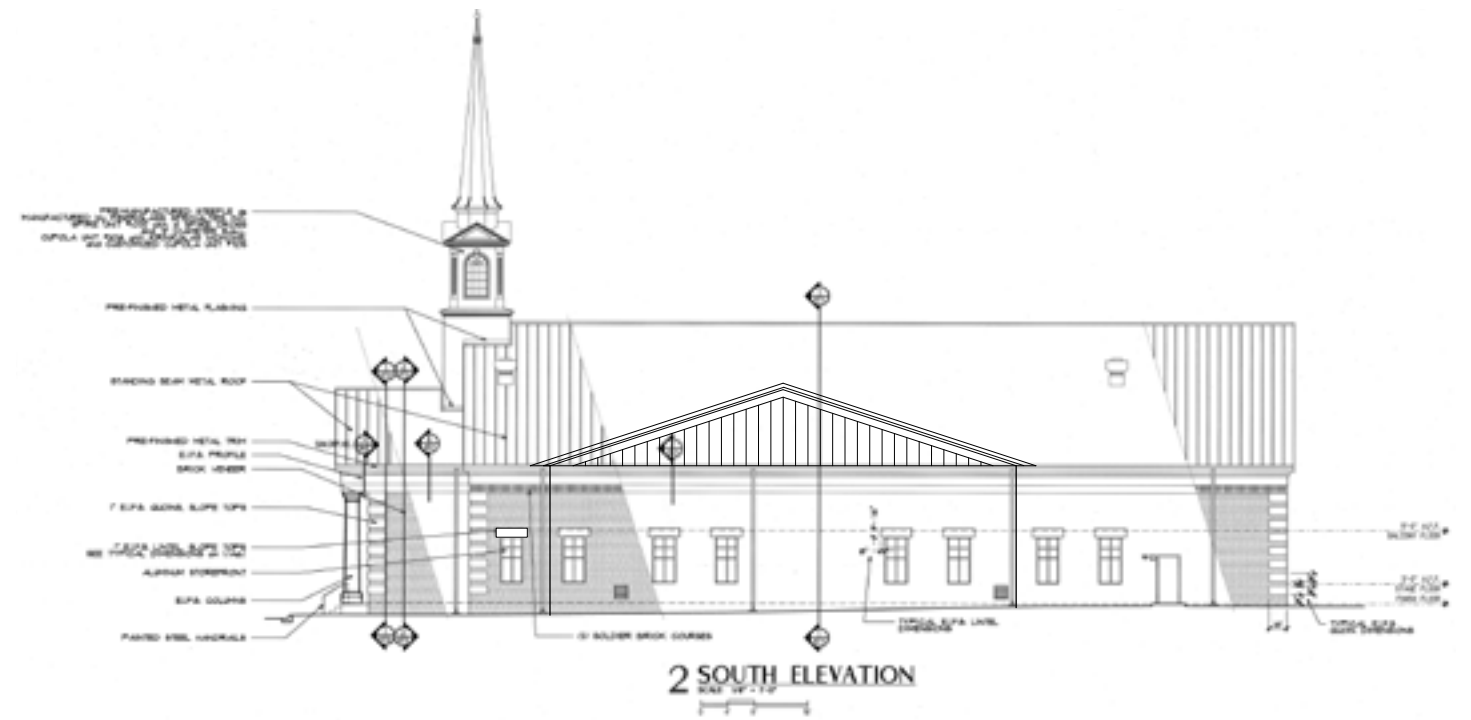
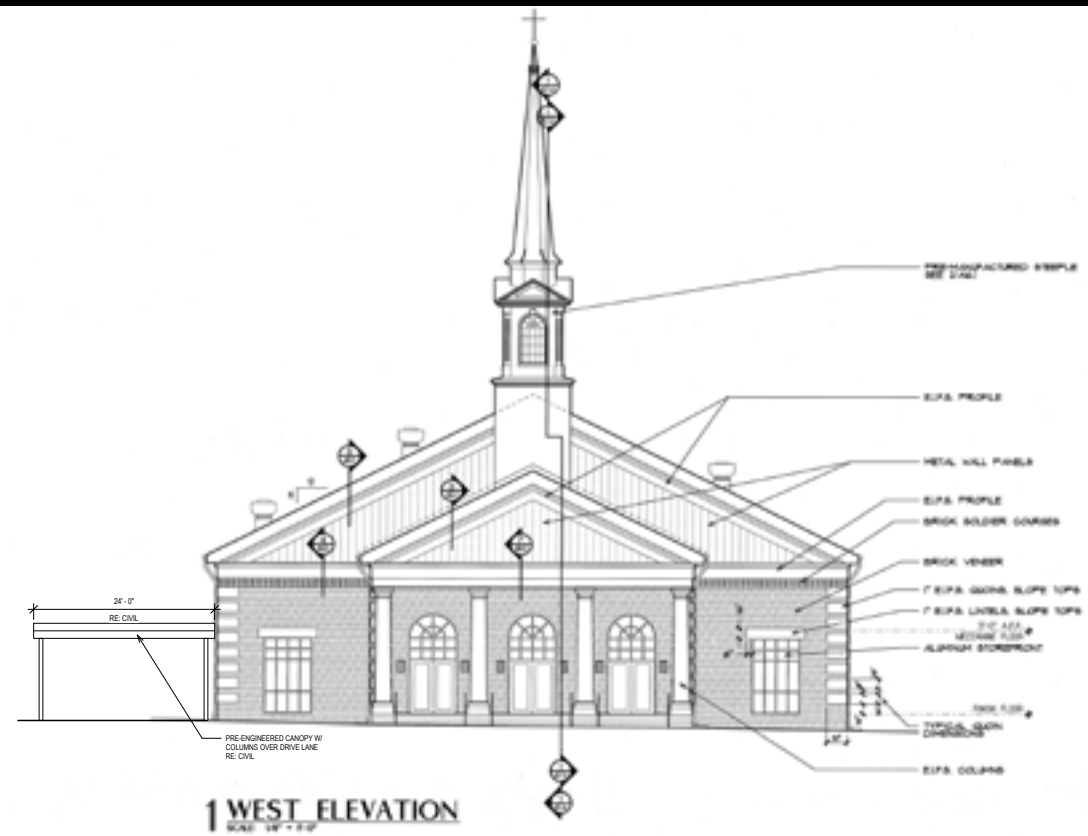
**MAGIE ENGINEERING & LAND DEVELOPMENT, INC.**  
915 OAK STREET, SUITE 102  
CONWAY, AR 72032  
PHONE: (501) 450-7676 FAX: (501) 450-7635

**SITE PLAN**

**ZION TEMPLE CHURCH OF GOD IN CHRIST CONWAY, AR**

DRAWN BY:	JM
REVIEWED BY:	JM
APPROVED BY:	JM
SCALE:	1"=30'
DATE:	JAN 2018
PROJECT NO.	13-012
SHEET NO.	C-1

Elevations





## E1 DISCUSSION - VINYL SIDING

HDC Staff was directed to look at the existing Old Conway Design Overlay and Robinson District Guidelines concerning vinyl siding. The guidelines are presented below. Basically, vinyl siding is discouraged in the Old Conway Design Overlay Suburban and Urban Transition Zones. Vinyl is prohibited the Urban Zone.

In the Robinson District, vinyl fences are not considered appropriate. The covering of existing older structures with vinyl siding is not appropriate. New construction guidelines are not-specific and only refer to materials being compatible with historic materials in the surrounding buildings.

Red text = New Text; ***Bold & Italicized*** = Instances of “vinyl” or similar

### Old Conway Design Overlay Regulations:

#### Suburban Zone

##### Awnings & Shutters

When new construction uses awnings, use traditional awning designs, materials, and placement. ***Plastic and vinyl are strongly discouraged.*** If used, shutters should be in proportion to their window opening. They should fit so that if they were closed, they would cover the window opening.

##### Siding & Brick

There is a rich variety of building materials and textures found throughout the Old Conway Design Overlay District, including brick, stone, wood siding, stucco and wood shingles. Some structures have a combination of several materials depending on the architectural style of the house or building. The materials selected for a new **construction dwelling** should be compatible with and complement the surrounding structures in the Suburban Zone.

~~***Brick, stone, and wood are the most common and most appropriate materials for the cladding of new structures, and are strongly encouraged in order to strengthen the traditional image of residential areas. Synthetic materials such as vinyl and aluminum siding, as well as synthetic stucco (EIFS products) are not historic cladding materials and should not be used. However, cement board materials such as Hardiboard may be substituted for wood siding.***~~

#### New Construction:

New construction should be compatible with adjacent historic buildings in terms of the composition, texture and finish of materials, and the design and appearance of architectural details. Brick, stone, and wood are the most common and most appropriate materials for the cladding of new structures, and are strongly encouraged in order to strengthen the traditional image of residential areas.

The use of vinyl siding, aluminum siding, imitation stucco, or similar is prohibited unless replacing a pre-existing condition or used on an accessory structure. It is preferable to replace any existing synthetic siding with wood or a smooth cement fiber siding matching the the profile of traditional historic wood siding.

----- OR -----

The use of synthetic siding or other artificial siding products are strongly discouraged; however, may be appropriate in new construction provided the material closely resembles the visual character of traditional wood siding. Vinyl, masonite, and aluminum typically do not closely resemble the visual character of traditional wood siding. Smooth surfaced cement fiber siding may be appropriate as long as it approximates the profile of traditional wood siding. The use of brick or cement based stucco is also appropriate. The use of synthetic stucco products such as exterior insulation finish systems (EIFS) is not appropriate in residential applications.

#### Existing Construction:

The maintenance and periodic painting of wood frame structures is a time-consuming effort and often a substantial expense for the homeowner. It is therefore understandable that a product which promises relief from periodic painting and gives the building a new exterior cladding would have considerable appeal. For these reasons, aluminum and vinyl siding have been used extensively in upgrading and rehabilitating wood frame residential buildings. The use of synthetic siding materials such as aluminum siding, vinyl siding, and imitation stucco to cover historic structures is strongly discouraged and not appropriate. For historic residential buildings, aluminum or vinyl siding may be an acceptable alternative only if:

1. The existing siding is so deteriorated or damaged that it cannot be repaired
2. The substitute material can be installed without irreversibly damaging or obscuring the architectural features and trim of the building

## E1 DISCUSSION - VINYL SIDING

3. The substitute material can match the historic material in size, profile and finish so that there is no change in the character of the historic building. In cases where a non-historic artificial siding has been applied to a building, the removal of such a siding, and the application of aluminum or vinyl siding would, in most cases, be an acceptable alternative, as long as the above-mentioned first two conditions are met.

There are, however, also certain disadvantages in the use of a substitute material such as aluminum or vinyl siding, and these factors should be carefully considered before a decision is made to use such a material rather than the preferred replacement with new wood siding duplicating the old.

Disadvantages to these types of siding include:

- These materials alter or obscure the original scale and distort architectural details. The entire appearance of a historic building can be changed with the application of synthetic siding.
- Improper installation can result in damage to underlying historic materials.
- Hides potential problems such as moisture retention and insect infestation.
- Not permanent or impervious materials. Aluminum can corrode or dent; vinyl can melt, crack, and distort into shapes as it expands and contracts with changes in weather.
- Vinyl siding fades and can be very difficult to paint.
- Vinyl siding is prone to mildew. Pressure washing can create inner wall moisture problems.
- These siding materials are thin and their installation do not serve as an effective method to conserve energy. More cost effective energy conservation measures include the installation of storm windows, weather stripping, the insulation of attics and basements, and caulking.

#### Urban Zone

**Prohibited materials shall include** wood siding, pressed wood siding, composite siding, **vinyl siding**, and **all forms of** basic sheet metal sheathing. **Architectural metal may be used on no more than 20% of any facade.** Exterior insulated finishing systems (EIFS) are discouraged. EIFS shall only be applied in upper story areas or other areas not susceptible to impact damage. These materials are not contextual to Old Conway and are generally perceived to be less permanent in nature, therefore they are not appropriate for use within the Urban Zone.

### Robinson Historic District Regulations:

#### 2.2.2 Fences and Walls

A need for security or privacy or the desire to enhance a site may lead to a decision to introduce a new fence or wall. Within the historic districts any proposed new fence is reviewed with regard to the compatibility of location, materials, design, pattern, scale, and spacing with the character of the principal building on the site and the historic district. Although compatible contemporary fence and wall designs constructed in traditional materials are appropriate in the districts, new fencing or wall systems constructed of incompatible contemporary materials such as **vinyl** or chain-link **fencing** and imitation stone or stucco **are not considered appropriate.**

#### 2.2.2 Fences and Walls

9. It is **not appropriate** to introduce **vinyl** or metal chain-link fencing.
16. Chain link, **vinyl, plastic composite**, and bare concrete **are prohibited.**

#### 2.3.2 Treatment of Wooden Buildings

Resurfacing a wooden building with synthetic siding materials, such as aluminum, **vinyl**, asbestos, and asphalt, **is usually a short-sighted solution to a maintenance problem.** In fact, they may hide signs of damage or deterioration, preventing early detection and repair. At their best, **synthetic sidings conceal the historic fabric of a building, and at their worst, they remove or destroy with nail holes the materials and the craftsmanship that reflect America’s cultural heritage and allow for new rot to go undetected.** Because the application of synthetic sidings does grave damage to the character of most historic buildings, it is **not appropriate in the historic district.**

Insert Old Conway Design Overlay Existing Construction from page 30?

11. It is **not appropriate to replace or cover wooden siding, trim, or window sashes with contemporary substitute materials such as aluminum, masonite, or vinyl.**



## E1 DISCUSSION - VINYL SIDING

### 2.3.3 Windows and Doors

“Replacement Windows”

**Plastic (vinyl) replacement windows**, on the other hand, are often only guaranteed for 10 years and a broken sash **cannot be repaired**. “No maintenance” is a myth. Hence they are appropriately named, “replacement windows”.

### 2.5.1 New Construction

5. **Select materials and finishes that are compatible with historic materials and finishes found in the surrounding buildings that contribute to the special character of the historic district in terms of composition, scale, module, pattern, detail, texture, finish, color, and sheen.**

Insert Old Conway Design Overlay New Construction from page 30?

### 3.3 Definition

**VINYL SIDING - Sheets of thermal plastic compound made from chloride or vinyl acetates, as well as some plastics made from styrene and other chemicals, usually fabricated to resemble clapboard.**

## E2 DISCUSSION - TERM LIMITATIONS

HDC Staff was instructed to examine the current HDC terms and limits of service. In 2005, Ordinance O-05-50 codified “Blue Ribbon Commission” recommendations for City board structures and term limitations. In 2008, this ordinance was amended and established the HDC as a “minor” board with terms less than 4 years (3 year terms). As such, members of boards with terms less than 4 years may only serve 2 terms (6 years) total. Boards with members who serve terms greater than 4 years may serve unlimited staggered terms; i.e. a member may serve 5 years on, 5 years off, 5 years on, 5 years off...

The Planning Commission, Board of Zoning Adjustment, and other primary Boards have terms of 4 years or more. The Historic District Commission’s duties are similar to these boards. Planning Staff recommends that the Historic District Commission terms be upgraded to 4 or 5 years. This would allow HDC members to serve (2) 4 year or (2) 5 year terms with an opportunity to re-serve after a 4 or 5 year break period.

If this is the direction that the HDC would like to go, HDC Staff can prepare ordinance changes and meet with the Mayor to discuss.

# NEW OUTBUILDING/FUTURE RESIDENCE - 1215 N ASH STREET (item held in committed at February 26, 2018 meeting)

## OLD CONWAY DESIGN OVERLAY DISTRICT CERTIFICATE OF APPROPRIATENESS REVIEW OUTBUILDING/FUTURE RESIDENCE 1215 NORTH ASH STREET

### APPLICANT/OWNER

Eric Bryan  
1704 Mill Street  
Conway, AR 72034

### SITE

Address. 1215 North Ash Street

Lot Area. ± 0.59 acres.

**Present Zoning.** R-2A (Large Lot Duplex). The property is within the Old Conway Design Overlay Suburban District.

**Abutting Zoning.** R-2A (Large Lot Duplex) in the Old Conway Design Overlay Suburban District.

**Surrounding Area Structures.** The property is located in the Old Conway Design Overlay Suburban District on the north side of Mill Street on the dead end of North Ash Street. Area structures consists of single family residences in ranch, minimal traditional, and craftsman cottage.

**General Description of Property and Proposed Development.** The applicant is proposing to construct a new 1232 square foot (interior space) 1760 square feet (under roof including porch) shop building. Plans to convert the shop building into a residence have been abandoned.

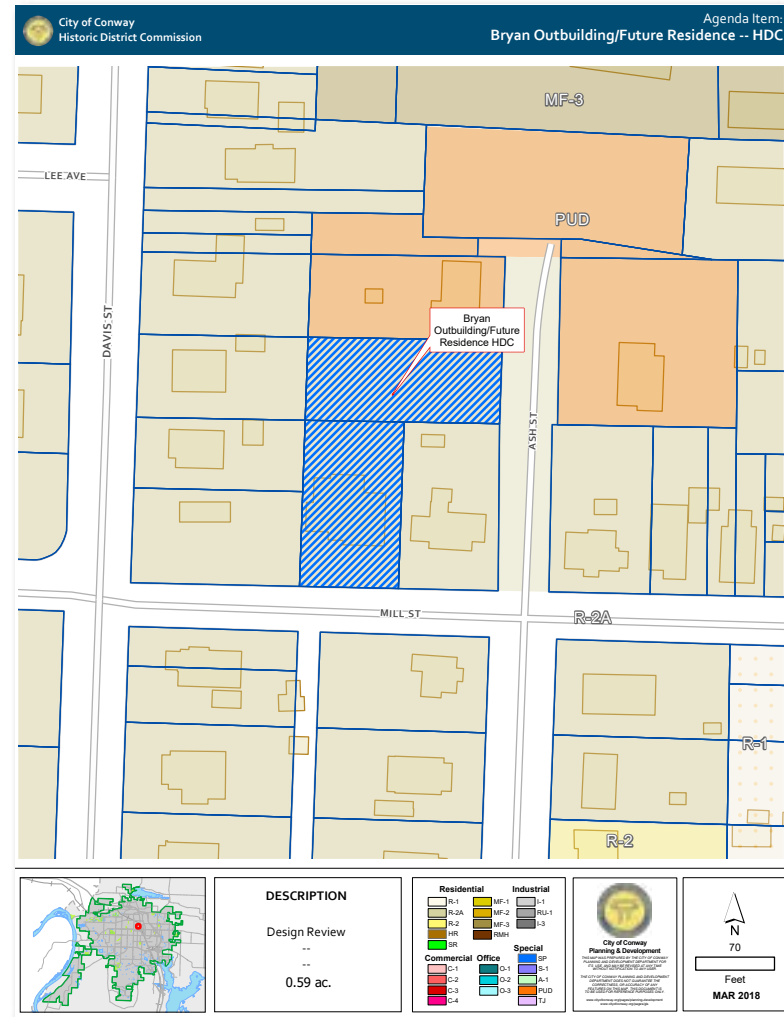
**Setbacks.** Proposed setbacks should respect the predominant setbacks of area structures, especially the front setback. Front setbacks are allowed within a range of 85% to 115% of the average area front setback. There is only one residence on North Ash Street at 22 feet from the property line. The proposed front setback is approximately 17.5 feet from the property line to the wall. The north side setback is approximately 20 feet and the south setback is 10 feet. The proposed setbacks are appropriate.

**Spacing.** Established spacing distance pattern between area structures. Spacing is similar to other area residences.

**Lot Coverage.** The Old Conway District allows up to 60% impervious lot coverage. The pervious area will be over 80% pervious after improvements.

**Orientation.** The direction in which the front of a building faces. The new outbuilding will appropriately face North Ash Street.

**Alley.** There is a small partial alley in the block, however it has no connection with the proposed property or structure.



**Driveway/Parking/Carport.** One driveway is proposed on the north side of the outbuilding. The driveway will be set about 2 feet from the north property line and will be 29.5 feet wide. Around 12 feet of the driveway will connect with the shop building at the garage door.

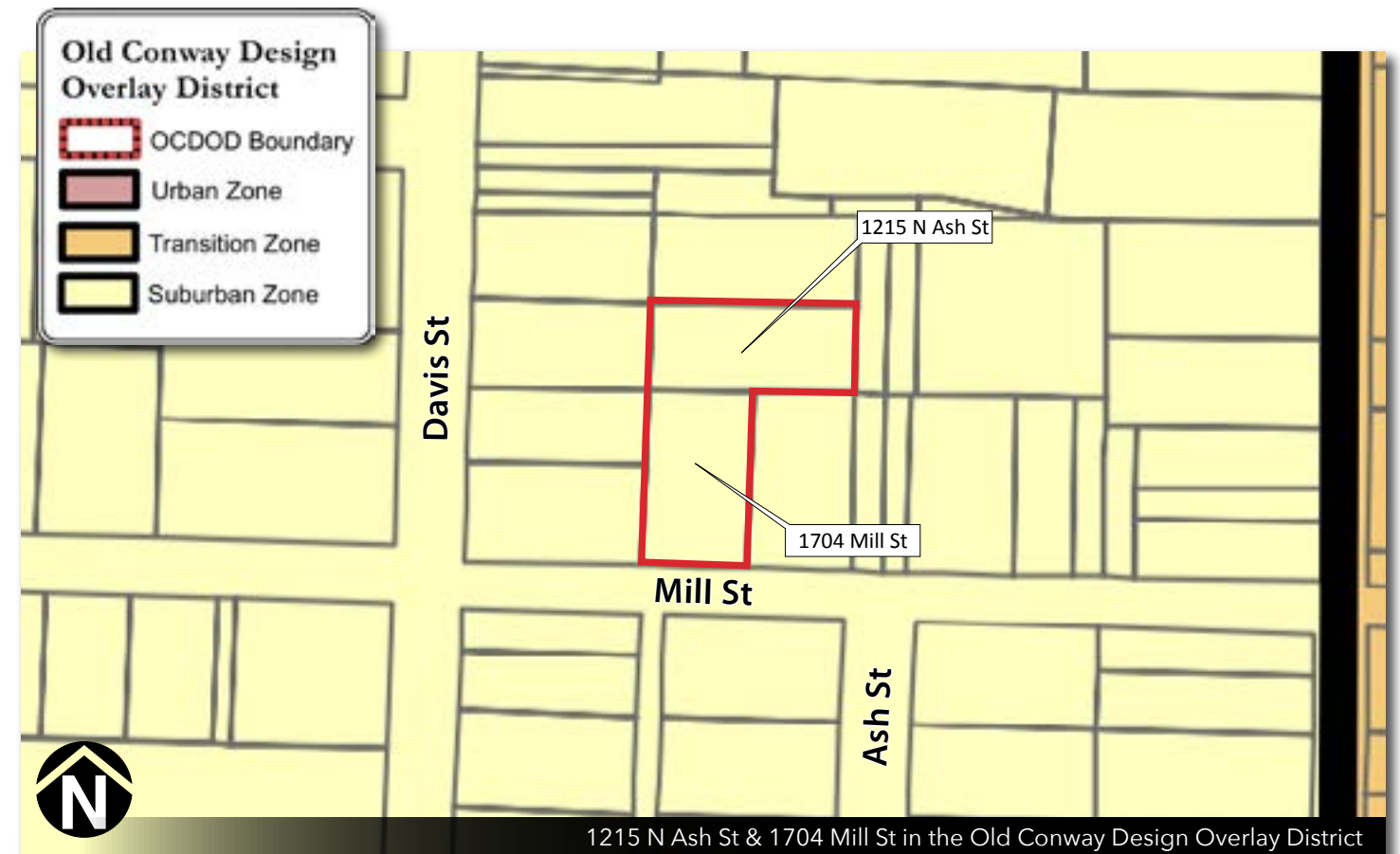
**Sidewalks.** There are no sidewalks along North Ash Street. North Ash is also an open ditch street. Sidewalk construction or an in-lieu fee is required. In this case, an in-lieu fee would be appropriate rather than construction. Discounting the driveways, 49 feet of sidewalk at \$12/foot equals \$588 in-lieu fee.

**Fences.** No fencing is proposed.

**Tree preservation.** The submitted plans show the removal of an oak, locust, and hackberry on the north side. A large pecan tree on the south side may be preserved. There are also some fig trees that will be replanted. The structure is placed to avoid removal of a persimmon tree between the shop and Ash Street.



Aerial View of 1215 N Ash & 1704 Mill St



1215 N Ash St & 1704 Mill St in the Old Conway Design Overlay District

**NEW OUTBUILDING/FUTURE RESIDENCE - 1215 N ASH STREET (item held in committee at February 26, 2018 meeting)**

**MASSING**

**Scale.** The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The shop structure's scale is proportional with other area structures. The relation to the human scale is also proportionate. The size and heights of doors, windows, open areas, eave lines, etc relate with the human scale.

**Height.** The average height of area structure's eaves and cornices. Also, the first floor elevation / height relationship. The outbuilding is one story and 17 feet high. The height will blend with other area one story structures .

**Width.** New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The structure's width will blend with area midcentury ranch and minimal traditional homes which are horizontal in nature. These homes span most of their property.

**Directional expression.** Measurement of the height to width ratio of a structure's elevation. The height/vertical expression of the structure is somewhat horizontal. This horizontal nature is similar to other one story horizontally oriented area homes.

**Footprint.** The area of land covered by a structure should be in relation to the majority of neighboring structures. The actual walled footprint of the structure is similarly scaled to other area homes. The primary structure on the L shaped lot is 3544 square feet. The proposed shop is 1760 square feet under roof. The shop will be 49% the area of the residence. Old Conway Design regulations state that an outbuilding should not be greater than 30% of the primary structure; however, this number can be modified by the HDC on a case by case basis. Outside of the Old Conway area, outbuildings are allowed up to 50% the size of the primary building.

**Complexity of form.** The level of detailing and breaks in wall planes of a structure. The structure has minimal detailing and lacks breaks in the wall planes. As a utilitarian shop structure, this could be seen as appropriate.

**Facade, wall area, rhythm.** Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. The structure has clerestory windows on all 3 sides viewable from the street. As a shop structure, this could be seen as appropriate. The openings created by the proposed windows and doors create an appropriate level of openings to solid wall for a utility shop structure.

**DESIGN ELEMENTS**

**Style.** The style should compliment area structures. The structure has no defined style as a utilitarian shop structure. Entries, Porches, and Porticos. Appropriate entry points should be provided. Large garage doors provide access on the east (front) and west (rear) facades. A porch area is shown on the rear of the structure. This porch is largely not viewable from the street.

**Doors and windows.** The size and proportion, or the ratio of width to height of window and door openings of new buildings' primary facades should be similar and compatible with those on facades of surrounding historic homes. Clerestory painted PVC trim windows are planned on 3 elevations. A vinyl garage door is shown on the west (rear) elevation. A large 10' x 10' garage door is shown on the front facade.

**Awnings.** When new construction uses awnings, traditional awning designs, materials, and placement should be used. No awnings are proposed.

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No lighting is shown on the plans.

**MATERIALS & DETAILING**

**Architectural Details, Siding, and Bricks.** Eaves, brackets, dentils, cornices, molding, columns, trim, etc. Architectural detail proposed on a new residential structure should be compatible with existing elements, in style, material, size, and shape. The structure has little detailing. This could be seen as appropriate for a shop structure.

Metal gutter is planned on west (rear) porch section. A drip edge will be provided on the east facade (front).

Metal roof support posts are shown on the rear porch. These will be out of public view.

Siding is planned to be Triple 3 smooth finish vinyl. Composite board will be used on corners.

Concrete blocks covered with stucco will be used on the bottom 2 feet of the walls.

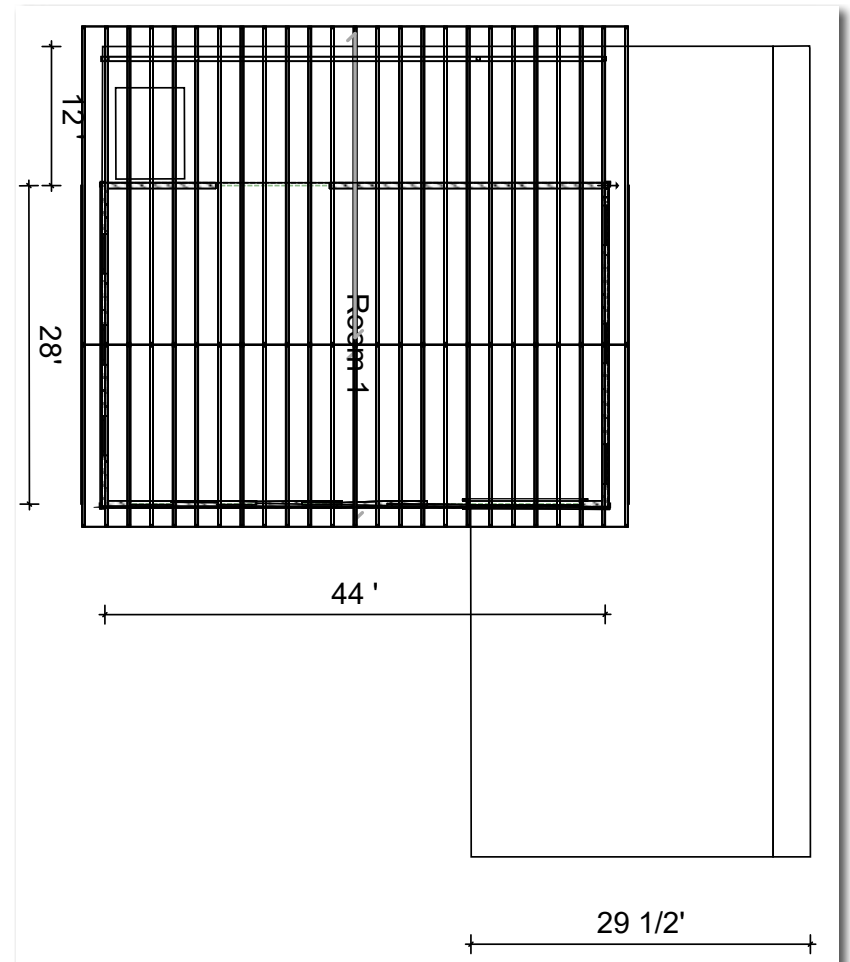
**Shutters.** If used, shutters should be in proportion to their window opening. No shutters are proposed.

**Roof.** The roof is described as trapezoidal metal 24 gauge. The OCDOD standards state, "Metal roofing is generally prohibited, but applicants may use after proving historical value for a given project." There are several structures in the area that have metal roofs.

A roof replacement in the Old Conway Design Overlay District does not require a building permit and is therefore not subject to HDC approval. Several area roofs have been changed to metal over the last few years.

**Decks/Plaza Space.** No decks or uncovered patio space are shown. The large covered areas might be considered a covered patio.

**Skylights.** None are shown.



Proposed plan



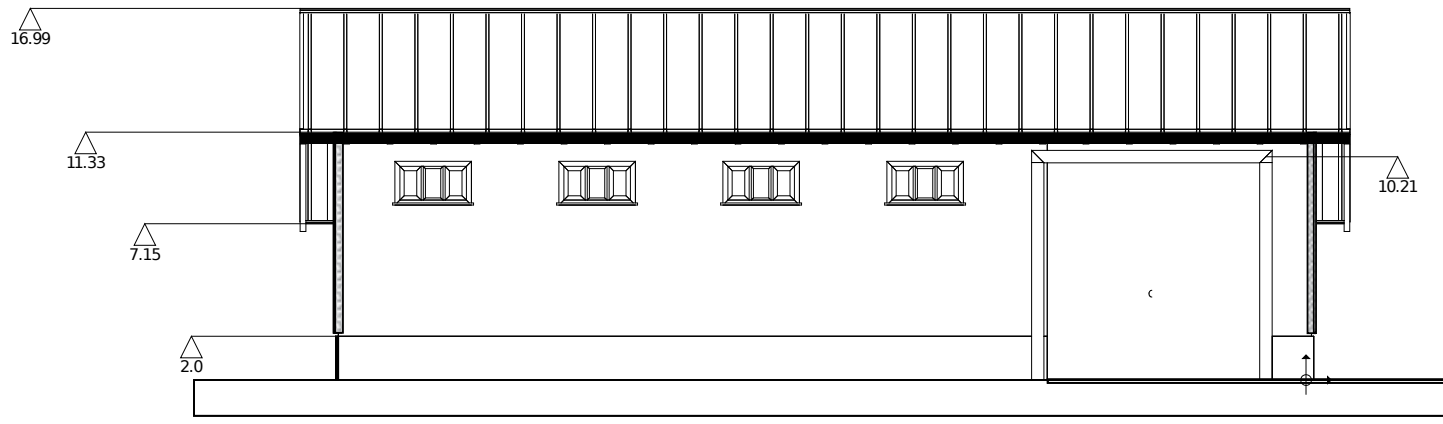
Applicant provided perspective rendering

**Mechanical Screening.** HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street. No HVAC equipment is shown. The applicant can provide additional information at the meeting.

**RECOMMENDATIONS**

- HDC Staff recommends approval of the shop structure with the following conditions:
1. Setbacks - The structure's proposed setbacks measured approximately from the property line: East - 17.5 feet, North 20 feet, South 10 feet, and West 100 feet+ are appropriate.
  2. Due to the size of the lot, the outbuilding's approximate 1760 square feet under roof shall be allowed.
  3. Triple 3 smooth finish vinyl siding shall be allowed.
  4. Metal roof shall be allowed.
  5. HVAC and utility equipment shall be screened and located on side or rear elevations.
  6. Sidewalk in-lieu fee of \$588 may be payed in-lieu of sidewalk construction.

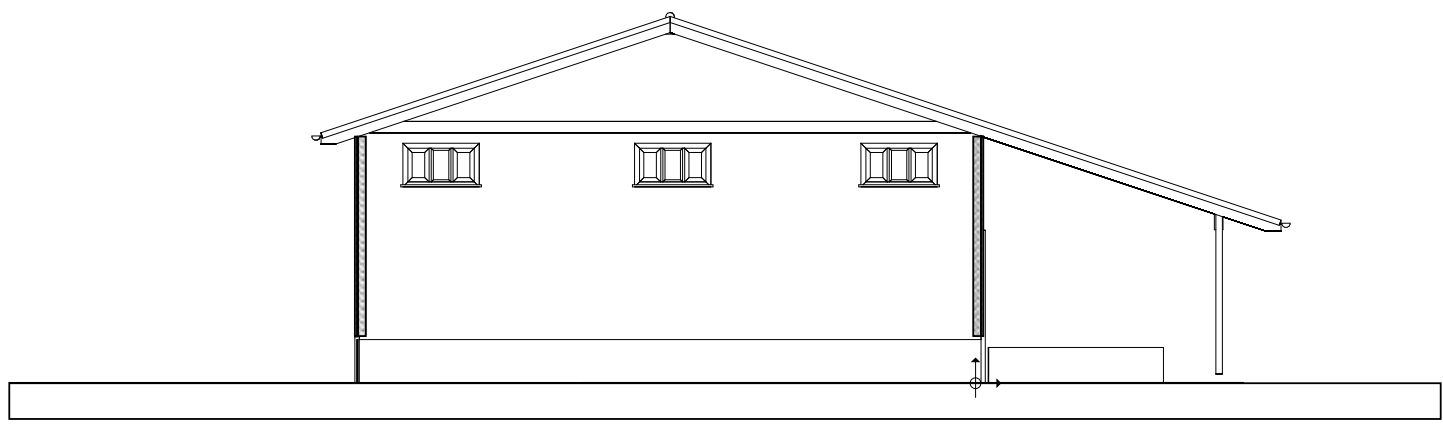
**NEW OUTBUILDING/FUTURE RESIDENCE - 1215 N ASH STREET (item held in committed at February 26, 2018 meeting)**



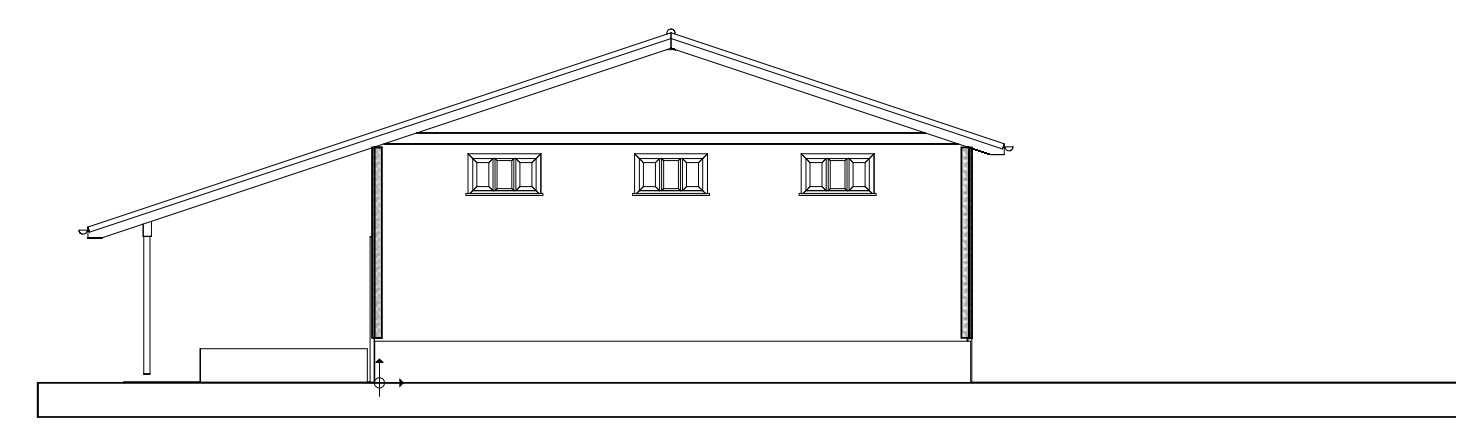
East Elevation



West Elevation



North Elevation



South Elevation